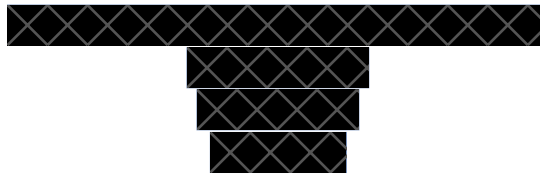


## Schedule of Condition

of:



For: 

Date: 13<sup>th</sup> May 2025

## **Table of contents**

- A      Introduction**
- B      Shop floor**
- C      Offices**
- D      Exterior and grounds**

## **A Introduction to the report**

### **A.1 Limitations**

#### **A.1.1 Purpose of the Report**

This Schedule of Condition has been prepared solely to record the condition of the subject premises at the time of inspection. It is intended to be appended to a lease to limit or define liability for repairs or reinstatement, should the lease allow. It must not be relied upon for any other purpose.

#### **A.1.2 Scope of Inspection**

The inspection was non-intrusive and limited to those areas safely and readily accessible at the time of attendance. No opening up of the structure or testing of building services was undertaken. No items of furniture, fixtures, stored goods, floor coverings or linings were moved or removed. Roof coverings and the exterior of the building were not included in the scope of this report.

#### **A.1.3 Condition Recording**

The Schedule records only material and visible defects or features of note observable at the time of inspection. It does not identify latent defects or anticipate future failure of building elements. No allowance has been made for minor imperfections consistent with normal wear and tear.

#### **A.1.4 Photographic Records**

Photographs have been included to support the text where appropriate. They are intended to supplement, not replace, the written descriptions. Photographs should not be interpreted in isolation or as a comprehensive record of every feature or defect.

#### **A.1.5 No Testing Undertaken**

No testing or validation of mechanical, electrical or drainage installations was undertaken. Comments in respect of such systems are limited to visible components only.

#### **A.1.6 Legal and Statutory Matters**

This report does not constitute a legal opinion. No enquiries have been made in respect of ownership, boundaries, title matters, planning permissions, building regulations approvals, or statutory compliance. The client should seek legal advice where relevant.

This report does not constitute a full Building Regulations compliance check or an exhaustive review of statutory compliance. The report does not confirm adherence to planning permissions, fire safety regulations, health and safety requirements, or other legislative controls unless explicitly stated. Any observations relating to regulatory matters are general in nature and should not be relied upon as a formal compliance assessment.

#### **A.1.7 Environmental and Hazardous Materials**

No investigations have been carried out in respect of environmental or geotechnical risks,

including contamination, asbestos-containing materials, or deleterious substances. Any references to such matters are observational only and should not be relied upon as conclusive. Specialist reports should be commissioned where required.

A.1.8 Reliance

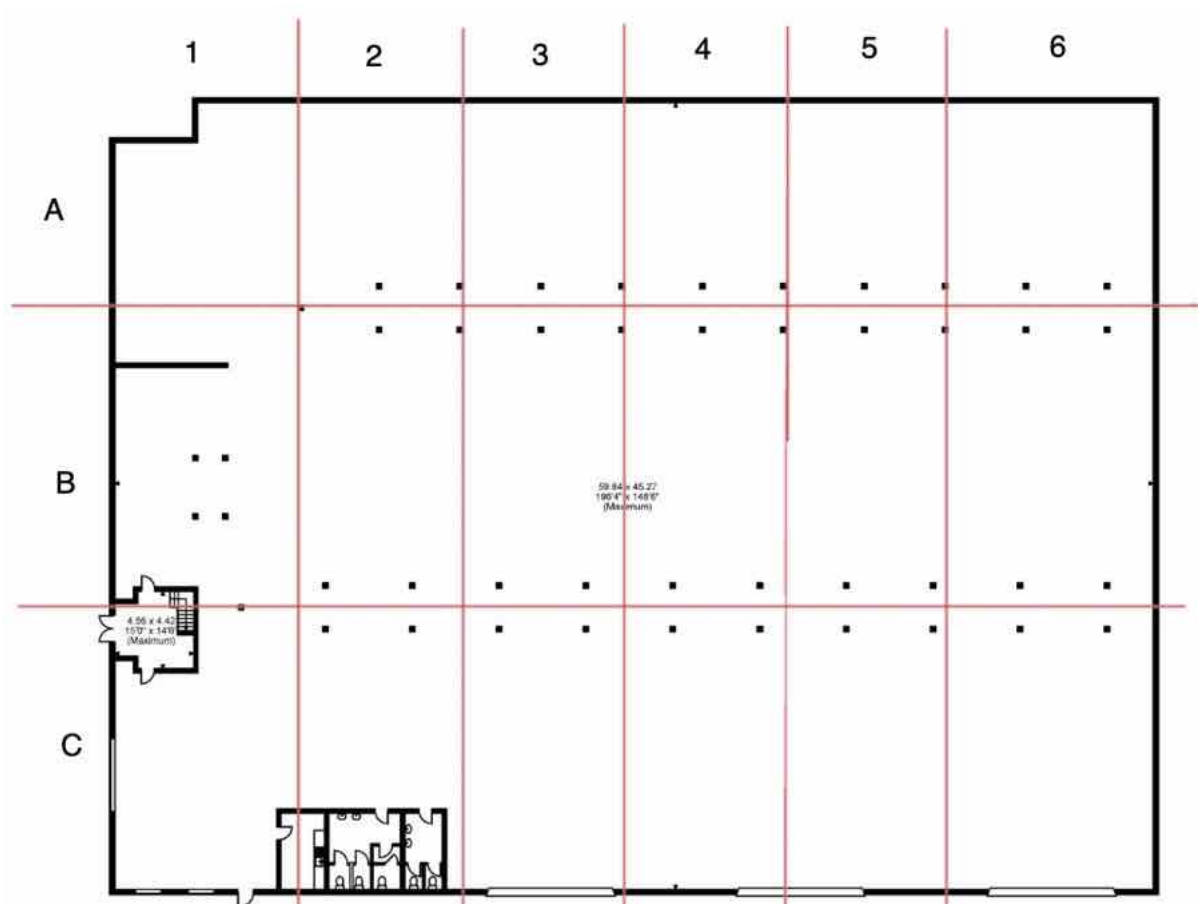
This document is confidential to the client for whom it is addressed and may not be disclosed to or relied upon by any third party without the express written consent of the surveyor. No responsibility is accepted to any third party for the contents of this report.


A.1.9 Limit of Liability


Our advice is provided for your benefit alone and solely for the purposes of the instruction to which it relates. Our advice may not, without our written consent, be used or relied on by any third party, even if that third party pays all or part of our fees or is permitted to see a copy of our advice. If we do provide written consent to a third party relying on our advice, any such third party is deemed to have accepted the terms of our engagement.


## B Schedule of Condition Shop Floor


### Key to grid references





<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
This Schedule of Condition is specific to the lease to which it is appended.			
<b>A1</b>			
Ceiling	Emulsion coated plaster with white paint.	Satisfaction condition.	1
Walls	Block work walls coated in white paint.	Generally, in good condition but in need of redecoration.  Water staining indicating rising damp above skirting to east wall.	2 - 4
Structure	Concrete encased columns with concrete round bases, top beam and stanchion.	Generally satisfactory but with rough finishes and detached paint.	5 - 8
Floor structure	Solid concrete floor structure with structural concrete surface.	Generally, in satisfactory condition.	9 - 11
Floor coverings	Floor paint over surface.	In an aged condition with cracking and detachment to coatings in one localised area.	12 - 13
Doors	The door is boarded up and could not be inspected	The door is boarded up and could not be inspected	14
<b>A2</b>			
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	15 - 16


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	17 - 19
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	20 - 23
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition  Floor bolts ground off rather than removed in around 20 locations. Bolts protrude from floor surface.	24 - 26
Floor coverings	Floor paint over surface.	In an aged condition and cracking in a number of areas.	
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	27
<b>A3</b>			
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition  Floor bolts ground off rather than removed in around 4 locations. Bolts protrude from floor surface.	28 - 31
Walls	Block work walls coated in white paint.	Generally, in good condition but in need of redecoration.	32
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	33 - 34


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	35 - 38
Floor coverings	Floor paint over surface	In an aged condition, soiled.	39 - 40
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	41
<b>A4</b>			
Floor coverings	Floor paint over surface	In an aged condition, soiled.	42
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition  Floor bolts ground off rather than removed in around 2 locations. Bolts protrude from floor surface.	43
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	44
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	45
Ceiling	Soffit of roof covering supported off portal frame	Satisfaction condition	46
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	47


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>A5</b>			
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	48
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	49
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition  Floor bolts ground off rather than removed in around 1 location. Bolts protrude from floor surface.	50
Floor coverings	Floor paint over surface	In an aged condition, soiled.	51 - 52
Structure.	Steel portal frame encased in concrete to southern wall.	Generally satisfactory but with rough finishes and detached paint.	53
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	54
<b>A6</b>			
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	55 - 56
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	57 - 58


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	59
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	60 - 61
Floor coverings	Floor paint over surface	In an aged condition, soiled.	62 - 63
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition  Floor bolts ground off rather than removed in around 8 location. Bolts protrude from floor surface.	64 - 65
<b>B1</b>			
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	66 - 68
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes detached paint.	69
Ceiling	Exposed concrete planks coated in white paint.	Satisfactory condition.	70 - 72
Doors	The door is boarded up and could not be inspected.	The door is boarded up and could not be inspected.	73
Floor structure	Solid concrete floor structure with smooth screed.	Generally in satisfactory condition.	74 - 75
Floor coverings	Floor paint over surface.	In an aged condition and cracking in a number of areas.	76 - 78


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>B2</b>			
Floor structure	Solid concrete floor structure with smooth screed.  IC covers.	Generally in satisfactory condition  Floor bolts ground off rather than removed in around 3 locations. Bolts protrude from floor surface.  IC covers sitting proud/ not level with floor.	79 - 82
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	83 - 84
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	85 - 87
Floor coverings	Floor paint over surface.	In an aged condition, soiled.	88
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	89
<b>B3</b>			
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	90
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	91
Floor coverings	Floor paint over surface.	In an aged condition, soiled.	92
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	93

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Floor structure	Solid concrete floor structure with smooth screed.	Generally in satisfactory condition  Floor bolts ground off rather than removed in around 8 locations. Bolts protrude from floor surface.	94
<b>B4</b>			
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	95
Floor coverings	Floor paint over surface.	In an aged condition, soiled.	96
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	97 - 99
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	100
Floor structure	Solid concrete floor structure with smooth screed.	Generally in satisfactory condition  Floor bolts ground off rather than removed in around 8 locations. Bolts protrude from floor surface.	101


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>B5</b>			
Floor structure	Solid concrete floor structure with smooth screed.  IC covers.	Floor bolts ground off rather than removed in around 3 locations. Bolts protrude from floor surface.	102 - 104
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	105
Ceiling	Soffit of roof covering supported off portal frame.	Satisfaction condition.	106 - 107
Floor coverings	Floor paint over surface	In an aged condition, soiled.	108 - 109
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	110
<b>B6</b>			
Ceiling	Soffit of roof covering supported off portal frame	Satisfactory condition.	111 - 112
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	113
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint	114
Floor structure	Solid concrete floor structure with screed.	Generally in satisfactory condition.  Floor bolts ground off rather than removed in around 12 locations. Bolts protrude from floor surface.	115


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Floor coverings	Floor paint over surface	In an aged condition, soiled.	116
Walls	Block work painted in white paint	Generally satisfactory, although soiled.	117
<b>C1</b>			
Ceiling	Exposed concrete planks coated in white paint.	Satisfaction condition.	118 - 119
Floor structure	Solid concrete floor structure with smooth screed.	Generally in satisfactory condition.	120 - 121
Doors	Factory finished door with brushed stainless ironmongery, kicker plates and closer.	Generally in a good condition, but with some marks and dents over the surface  Note that this is a factory finished door and may not be suitable for redecoration.	122
Floor coverings	Floor paint over surface.	In an aged condition generally.	123
Structure	Concrete columns with top beam and stanchion.	Generally satisfactory but with rough finishes and aged paint.	124 - 126
Walls	Blockwork walls coated in white paint	Generally in good condition but in need of redecoration.  Very dirty surfaces to windowsills.	127 - 130
Windows	Polymer coated double glazed aluminium casement windows	satisfactory. Locked at the time of inspection, were not testable.	131 - 133

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>C2</b>			
Floor coverings	Floor paint over surface	In an aged condition, soiled.	134
Floor structure	Solid concrete floor structure with smooth screed	Generally in satisfactory condition  Floor bolts ground off rather than removed in around 8 locations. Bolts protrude from floor surface.	135
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	136
Structure	Steel portal frame encased in concrete to southern wall.	Generally satisfactory but with rough finishes and detached paint.	137
Ceiling	Soffit of roof covering supported off portal frame.	Satisfactory condition.	138
Walls	Block work walls coated in white paint	Generally in good condition but in need of redecoration.	139 - 143
<b>C3</b>			
Walls	Block work walls coated in white paint.	Generally in good condition but in need of redecoration.	144 - 145
Floor coverings	Floor paint over surface	In an aged condition, soiled.	146

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Ceiling	Soffit of roof covering supported off portal frame.	Satisfactory condition.	147
Floor structure	Solid concrete floor structure with smooth screed.	Generally in satisfactory condition.	148
Structure	Concrete structure.	Generally satisfactory but with rough finishes and detached paint.	149 - 150
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	151
<b>C4</b>			
Walls	Block work walls coated in white paint	Generally in good condition but in need of redecoration.	152
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	153
Ceiling	Soffit of roof covering supported off portal frame.	Satisfactory condition.	154
Floor coverings	Floor paint over surface	In an aged condition, soiled. Cracking to finishes in localised areas.	155 - 157
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	158
Floor structure	Solid concrete floor structure with smooth screed	Generally in satisfactory condition.	159

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>C5</b>			
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition.  Studs protruding in 3 locations.	160 - 162
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	163
Ceiling	Soffit of roof covering supported off portal frame.	Satisfactory condition.	164
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	165 - 166
Floor coverings	Floor paint over surface	In an aged condition, soiled. Cracking to finishes in localised areas.	167 - 168
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	169
<b>C6</b>			
Floor structure	Solid concrete floor structure with smooth screed	Generally, in satisfactory condition.  Studs protruding in 3 locations.  Multiple areas with cracked surface finishes.	170

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Structure	Concrete portal frame.	Generally satisfactory but with rough finishes and detached paint.	171
Roof lights	Clear GRP double skin.	Satisfactory and translucent, free from yellowing.	172
Ceiling	Soffit of roof covering supported off portal frame.	Satisfactory condition.	173
Floor coverings	Floor paint over surface	In an aged condition, soiled. Cracking to finishes in localised areas.	174
Walls	Block work walls coated in white paint	Generally, in good condition but in need of redecoration.	175
<b>W/C</b>			
Ceiling	Plasterboard covered in emulsion.	Generally soiled and in need of redecoration.	176
Walls	Plaster covered in emulsion.	Begrimed.	177
Floor structure	Solid	Level and true.	178
Floor coverings	Vinyl floor coverings	In poor condition with severe staining.	179
W/C	Ceramic W/C with concealed cistern	Satisfactory.	180
Basin	Ceramic basin in vanity unit.	Satisfactory, vanity unit is aged and chipped.	181
Cubicles	IPS style cubicles.	Generally aged.	182
Triple basin	Triple ceramic basin in chipboard cabinets.	Generally stained and aged.	183

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Mirrors	Wall mounted mirrors.	Satisfactory.	184
<b>Kitchen</b>			
Not inspected	Access was not available at the time of the inspection.	Access was not available at the time of the inspection.	
<b>WWC</b>			
Not inspected	Access was not available at the time of the inspection.	Access was not available at the time of the inspection.	



**Photo 1**

A1  
Ceiling



**Photo 2**

A1  
Walls



**Photo 3**

A1  
Walls



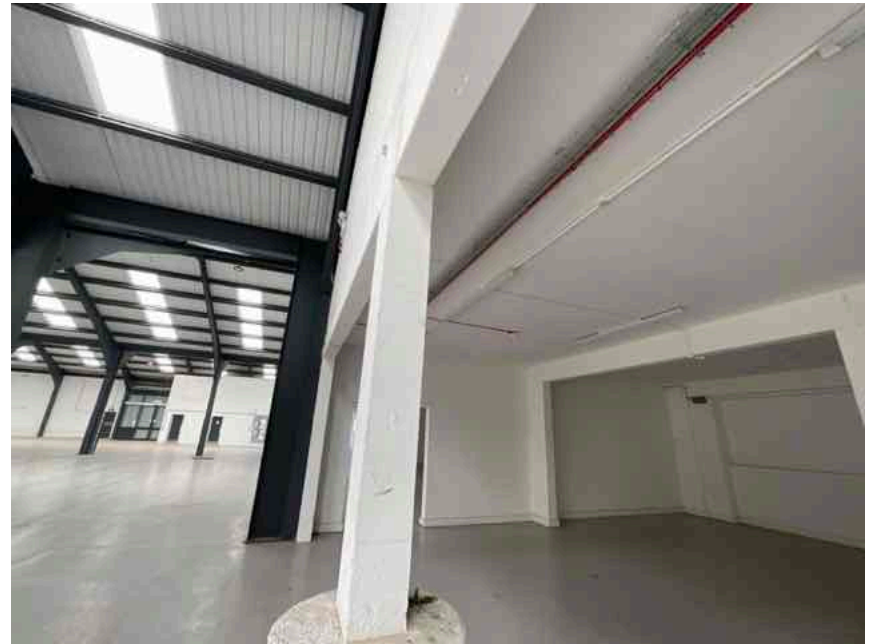
**Photo 4**

A1  
Walls



**Photo 5**

A1  
Structure



**Photo 6**

A1  
Structure



**Photo 7**

A1  
Structure



**Photo 8**

A1  
Structure



**Photo 9**

A1  
Floor structure



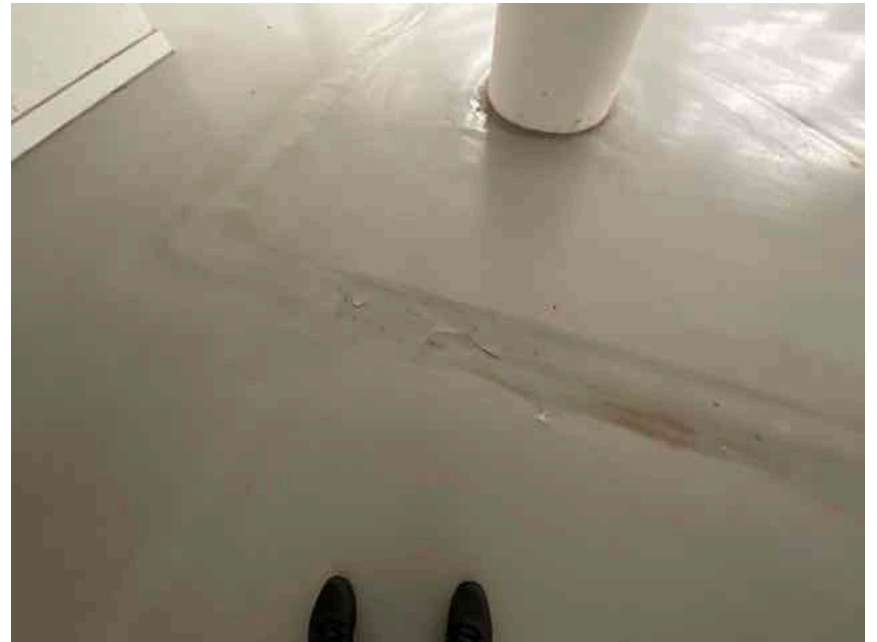
**Photo 10**

A1  
Floor structure



**Photo 11**

A1  
Floor structure



**Photo 12**

A1  
Floor coverings



**Photo 13**

A1  
Floor coverings



**Photo 14**

A1  
Doors



**Photo 15**

A2  
Walls



**Photo 16**

A2  
Walls



**Photo 17**

A2  
Structure



**Photo 18**

A2  
Structure



**Photo 19**

A2  
Structure



**Photo 20**

A2  
Ceiling



**Photo 21**

A2  
Ceiling



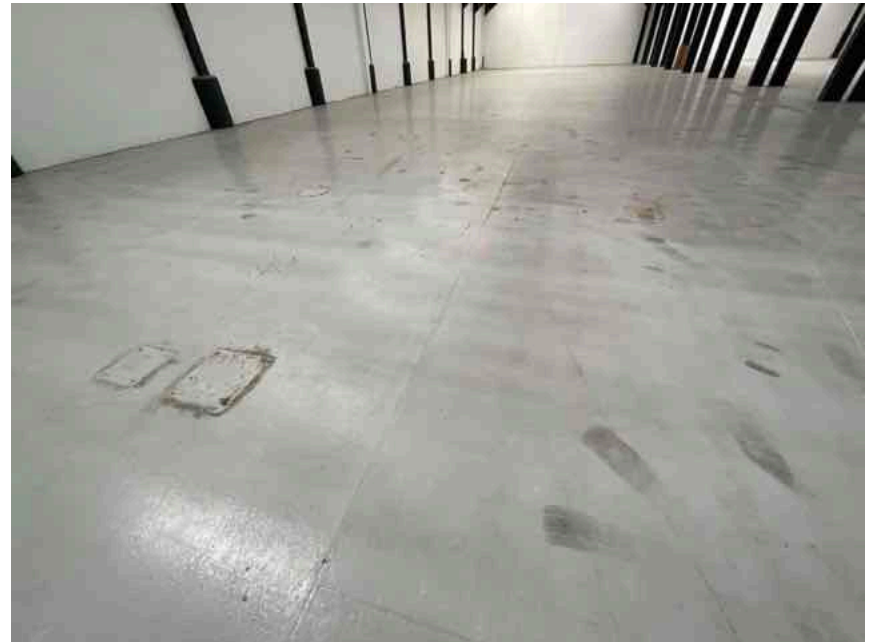
**Photo 22**

A2  
Ceiling



**Photo 23**

A2  
Ceiling



**Photo 24**

A2  
Floor structure



**Photo 25**

A2  
Floor structure



**Photo 26**

A2  
Floor structure



**Photo 27**

A2  
Roof lights



**Photo 28**

A3  
Floor structure



**Photo 29**

A3  
Floor structure



**Photo 30**

A3  
Floor structure



**Photo 31**

A3  
Floor structure



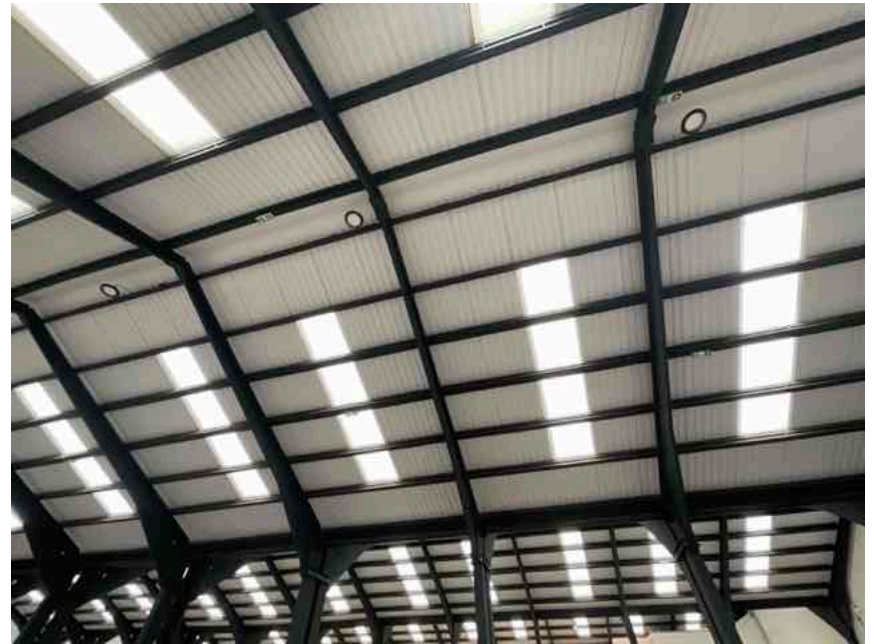
**Photo 32**

A3  
Walls



**Photo 33**

A3  
Ceiling



**Photo 34**

A3  
Ceiling



**Photo 35**

A3  
Structure



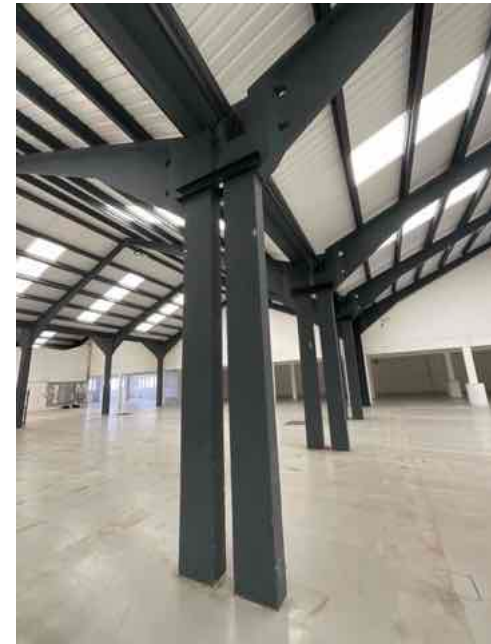
**Photo 36**

A3  
Structure



**Photo 37**

A3  
Structure



**Photo 38**

A3  
Structure



**Photo 39**

A3  
Floor coverings



**Photo 40**

A3  
Floor coverings



**Photo 41**

A3  
Roof lights



**Photo 42**

A4  
Floor coverings



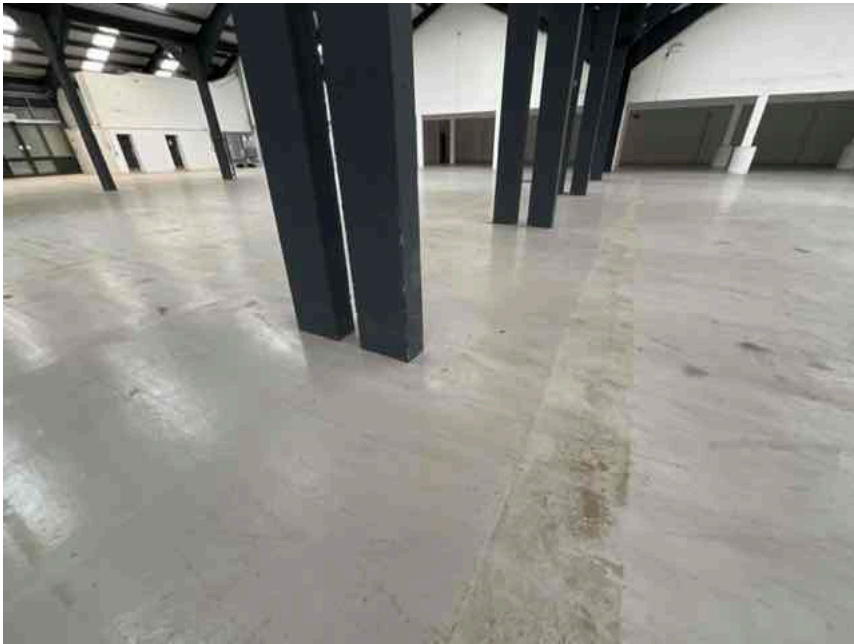
**Photo 43**

A4  
Floor structure



**Photo 44**

A4  
Roof lights



**Photo 45**

A4  
Structure



**Photo 46**

A4  
Ceiling



**Photo 47**

A4  
Walls



**Photo 48**

A5  
Ceiling



**Photo 49**

A5  
Roof lights



**Photo 50**

A5  
Floor structure



**Photo 51**

A5  
Floor coverings



**Photo 52**

A5  
Floor coverings



**Photo 53**

A5  
Structure.



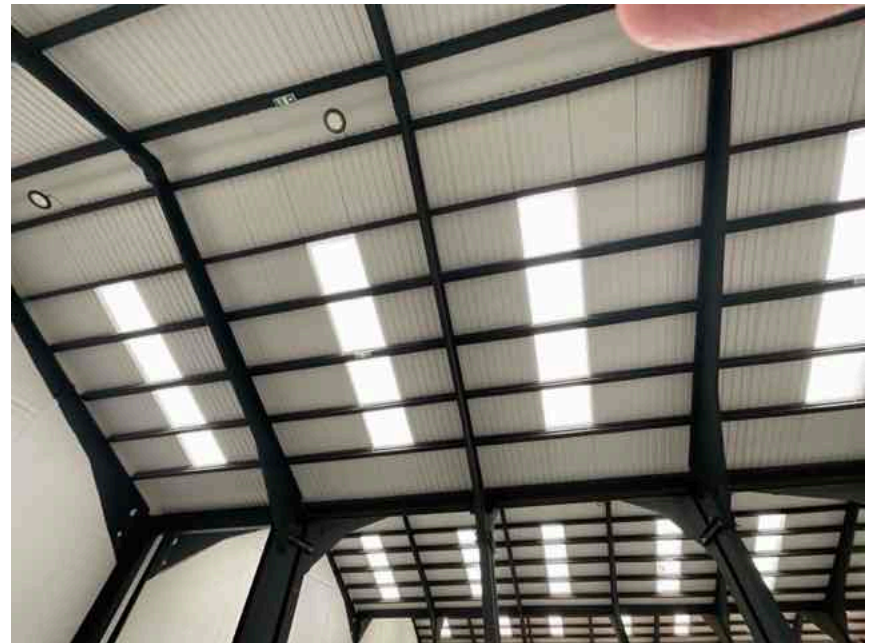
**Photo 54**

A5  
Walls



**Photo 55**

A6  
Ceiling



**Photo 56**

A6  
Ceiling



**Photo 57**

A6  
Walls



**Photo 58**

A6  
Walls



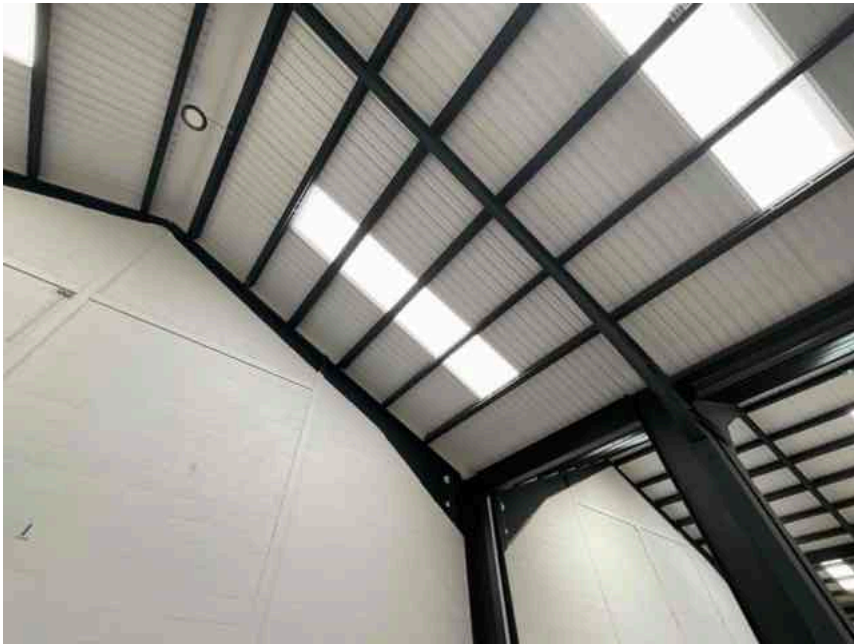
**Photo 59**

A6  
Structure



**Photo 60**

A6  
Roof lights



**Photo 61**

A6  
Roof lights



**Photo 62**

A6  
Floor coverings



**Photo 63**

A6  
Floor coverings



**Photo 64**

A6  
Floor structure



**Photo 65**

A6  
Floor structure



**Photo 66**

B1  
Walls



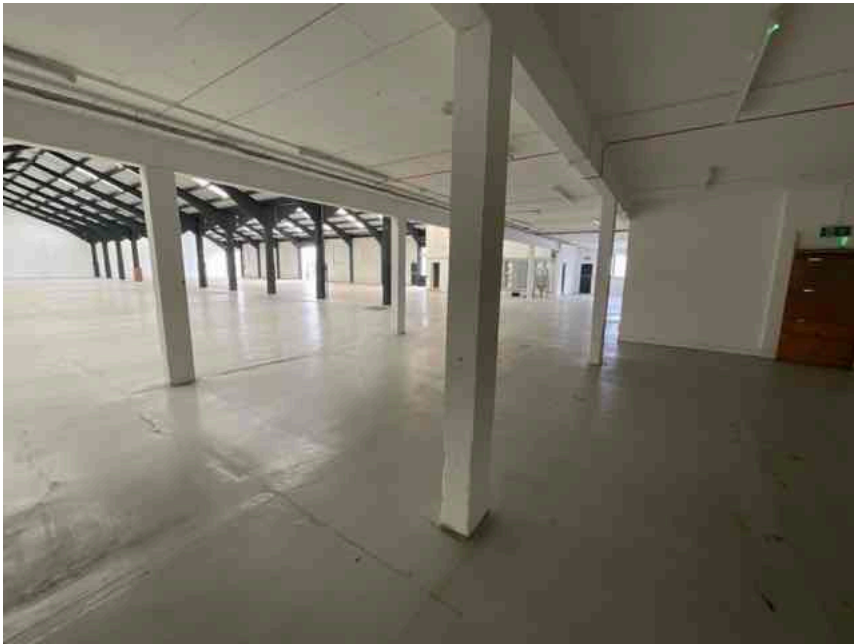
**Photo 67**

B1  
Walls



**Photo 68**

B1  
Walls



**Photo 69**

B1  
Structure



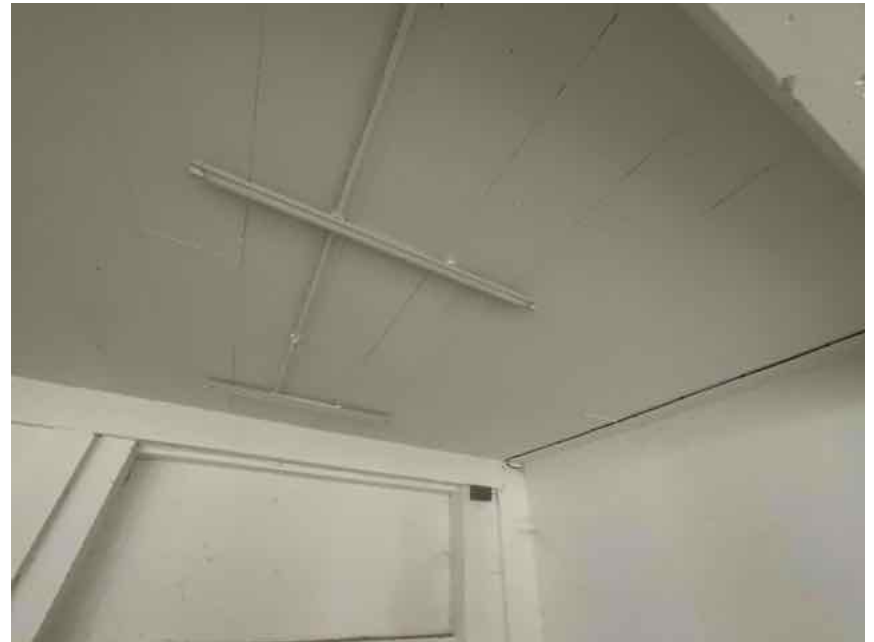
**Photo 70**

B1  
Ceiling



**Photo 71**

B1  
Ceiling



**Photo 72**

B1  
Ceiling



**Photo 73**

B1  
Doors



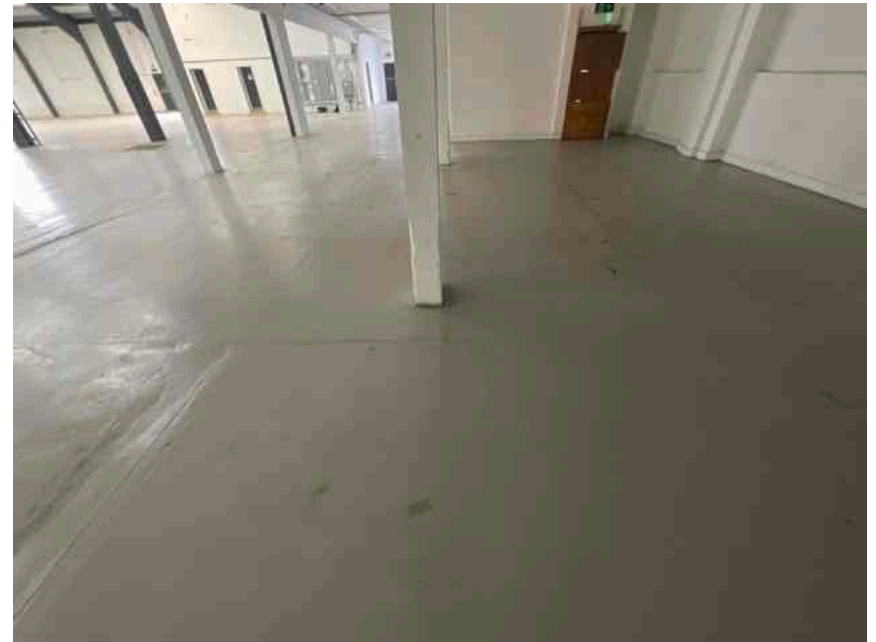
**Photo 74**

B1  
Floor structure



**Photo 75**

B1  
Floor structure



**Photo 76**

B1  
Floor coverings



**Photo 77** B1  
Floor coverings



**Photo 78** B1  
Floor coverings



**Photo 79** B2  
Floor structure



**Photo 80** B2  
Floor structure



**Photo 81**

B2  
Floor structure



**Photo 82**

B2  
Floor structure



**Photo 83**

B2  
Ceiling



**Photo 84**

B2  
Ceiling



**Photo 85**

B2  
Structure



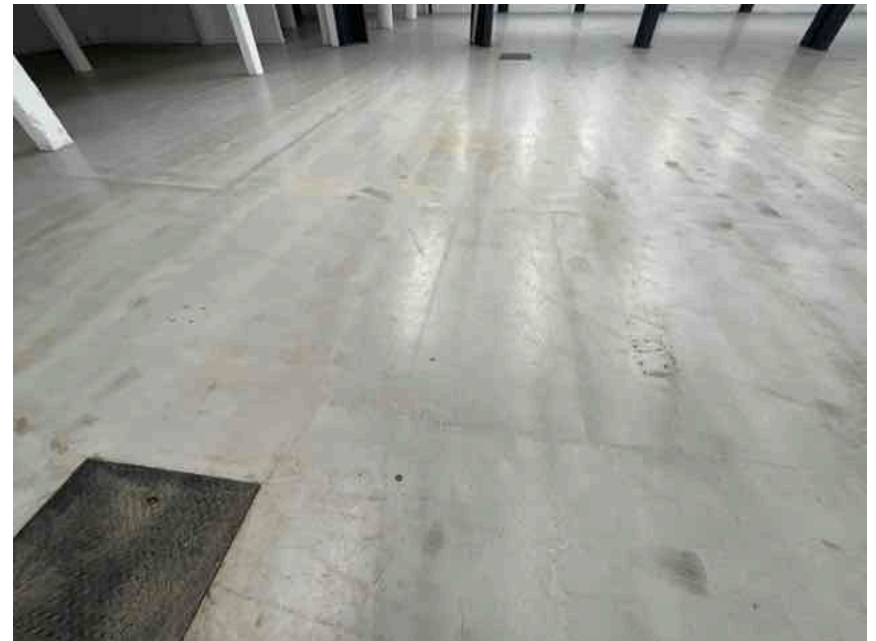
**Photo 86**

B2  
Structure



**Photo 87**

B2  
Structure



**Photo 88**

B2  
Floor coverings



**Photo 89**

B2  
Roof lights



**Photo 90**

B3  
Roof lights



**Photo 91**

B3  
Structure



**Photo 92**

B3  
Floor coverings



**Photo 93**

B3  
Ceiling



**Photo 94**

B3  
Floor structure



**Photo 95**

B4  
Ceiling



**Photo 96**

B4  
Floor coverings



**Photo 97**

B4  
Structure



**Photo 98**

B4  
Structure



**Photo 99**

B4  
Structure



**Photo 100**

B4  
Roof lights



**Photo 101**

B4  
Floor structure



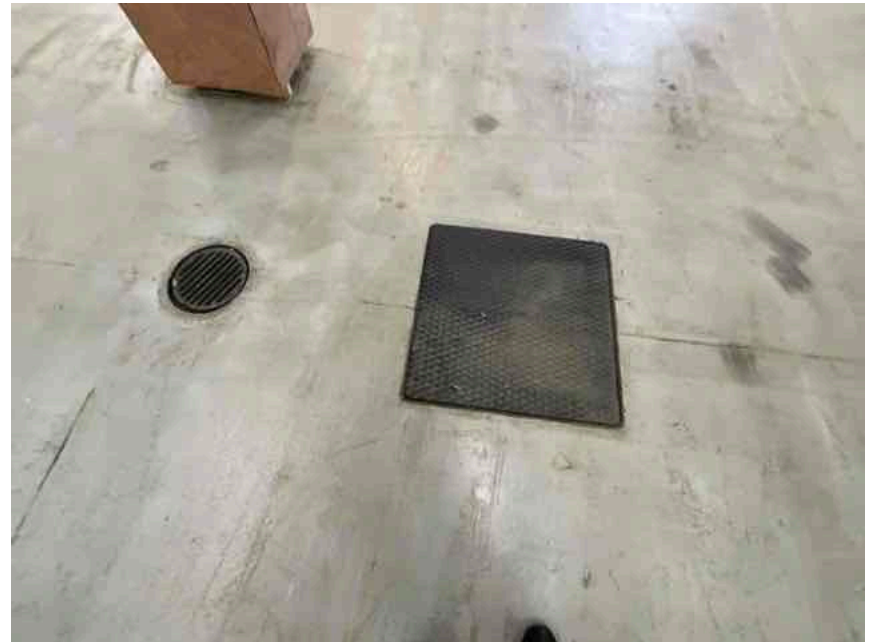
**Photo 102**

B5  
Floor structure



**Photo 103**

B5  
Floor structure



**Photo 104**

B5  
Floor structure



**Photo 105**

B5  
Roof lights



**Photo 106**

B5  
Ceiling



**Photo 107**

B5  
Ceiling



**Photo 108**

B5  
Floor coverings



**Photo 109**

B5  
Floor coverings



**Photo 110**

B5  
Structure



**Photo 111**

B6  
Ceiling



**Photo 112**

B6  
Ceiling



**Photo 113**

B6  
Roof lights



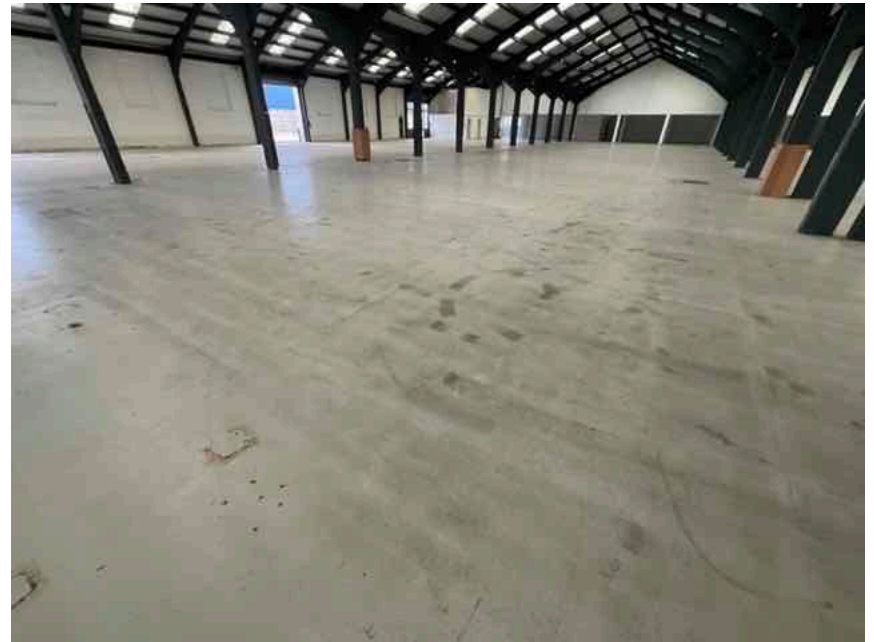
**Photo 114**

B6  
Structure



**Photo 115**

B6  
Floor structure



**Photo 116**

B6  
Floor coverings



**Photo 117**

B6  
Walls



**Photo 118**

C1  
Ceiling



**Photo 119**

C1  
Ceiling



**Photo 120**

C1  
Floor structure



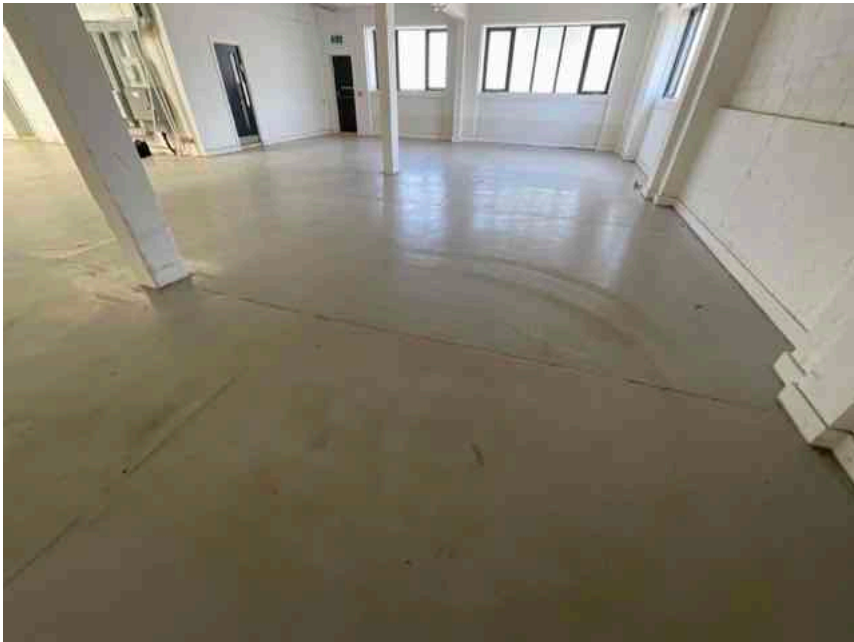
**Photo 121**

C1  
Floor structure



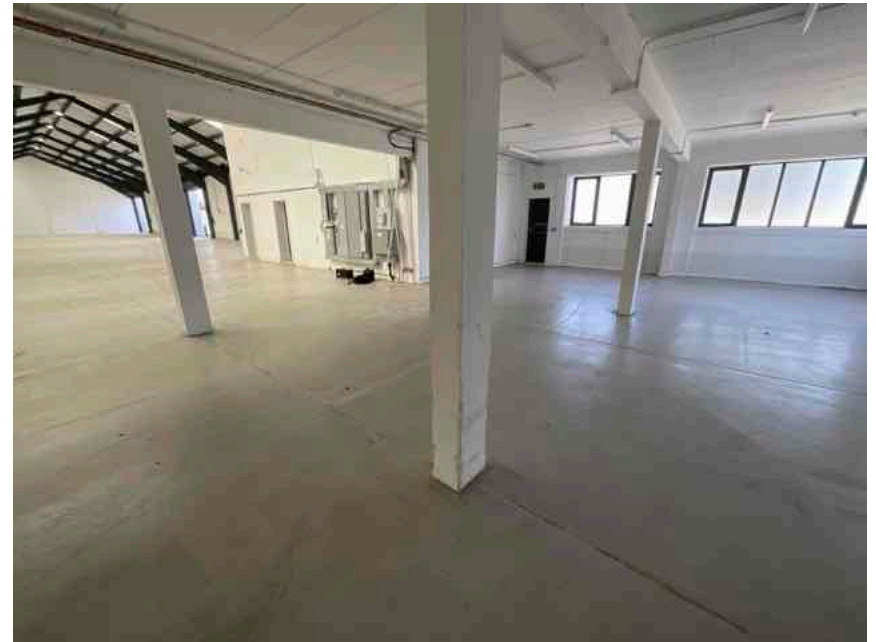
**Photo 122**

C1  
Doors



**Photo 123**

C1  
Floor coverings



**Photo 124**

C1  
Structure



**Photo 125**

C1  
Structure



**Photo 126**

C1  
Structure



**Photo 127**

C1  
Walls



**Photo 128**

C1  
Walls



**Photo 129**  
C1  
Walls



**Photo 130**  
C1  
Walls



**Photo 131**  
C1  
Windows



**Photo 132**  
C1  
Windows



**Photo 133**

C1  
Windows



**Photo 134**

C2  
Floor coverings



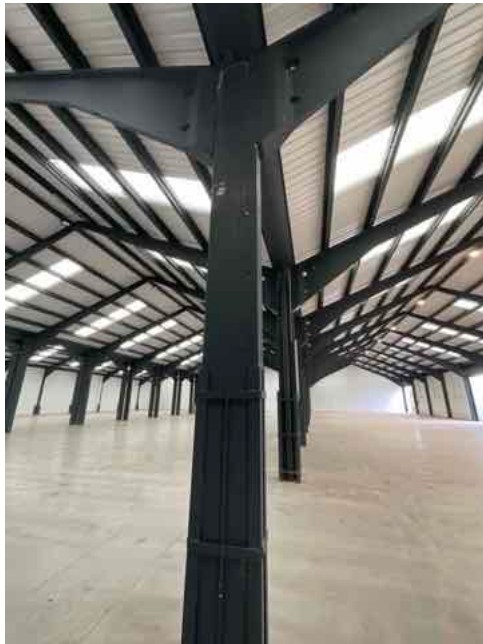
**Photo 135**

C2  
Floor structure



**Photo 136**

C2  
Roof lights



**Photo 137**

C2  
Structure



**Photo 138**

C2  
Ceiling



**Photo 139**

C2  
Walls



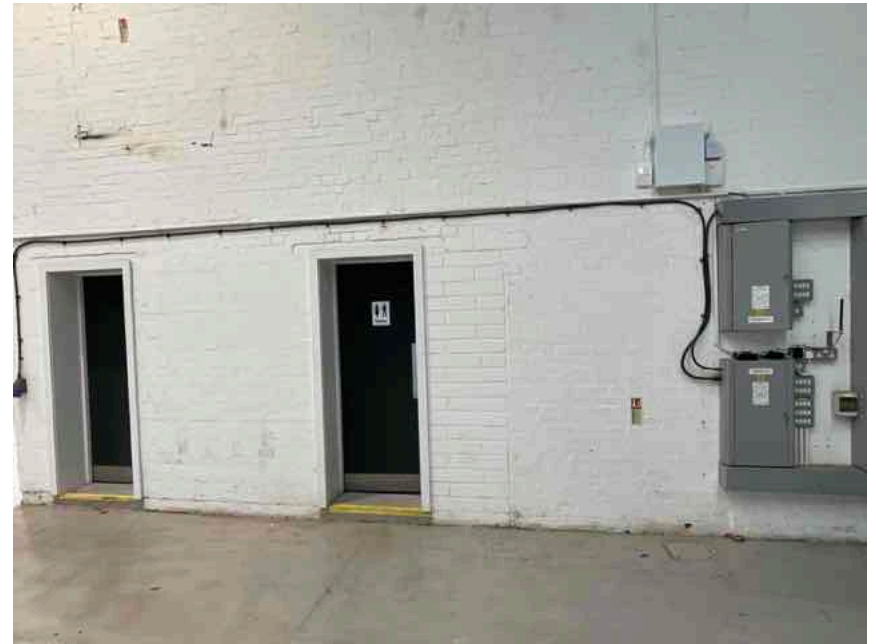
**Photo 140**

C2  
Walls



**Photo 141**

C2  
Walls



**Photo 142**

C2  
Walls



**Photo 143**

C2  
Walls



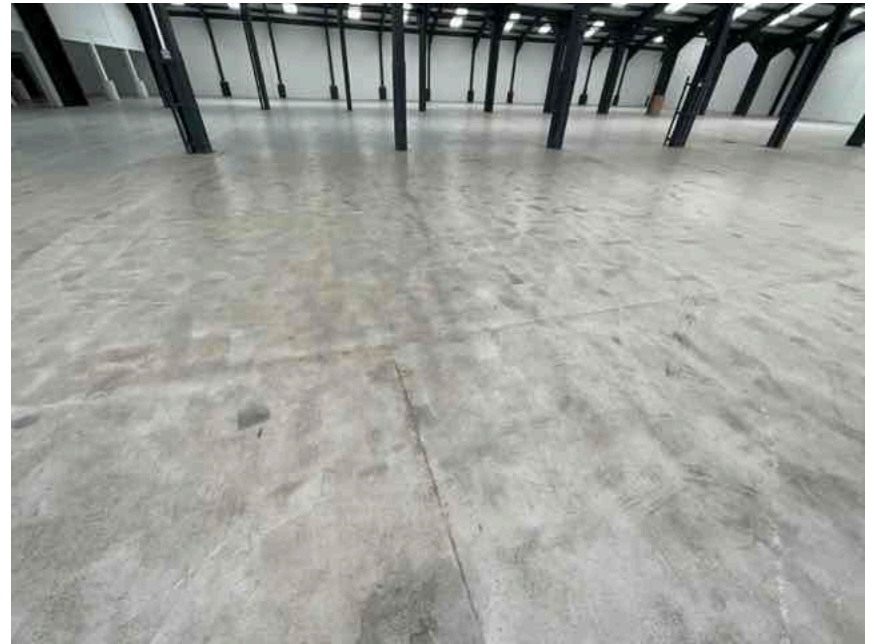
**Photo 144**

C3  
Walls



**Photo 145**

C3  
Walls



**Photo 146**

C3  
Floor coverings



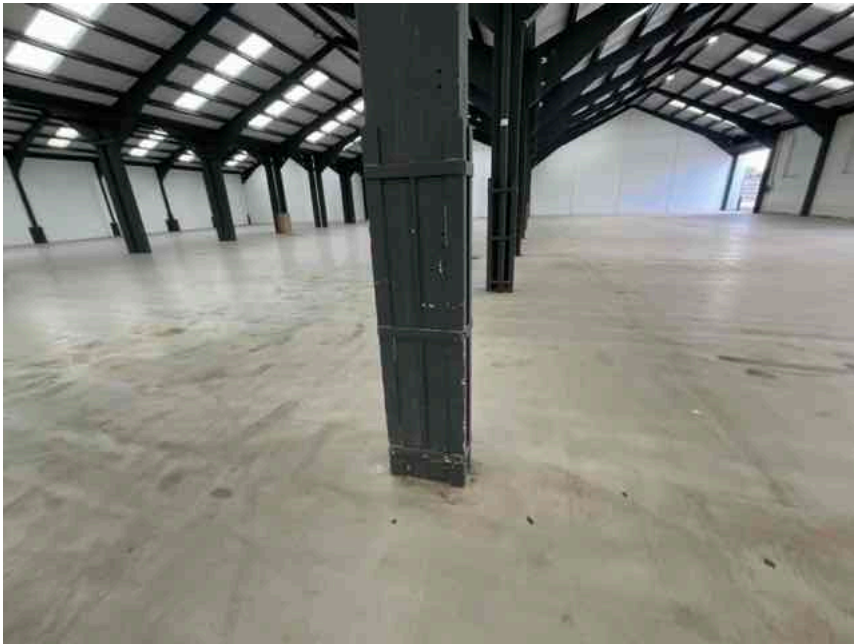
**Photo 147**

C3  
Ceiling

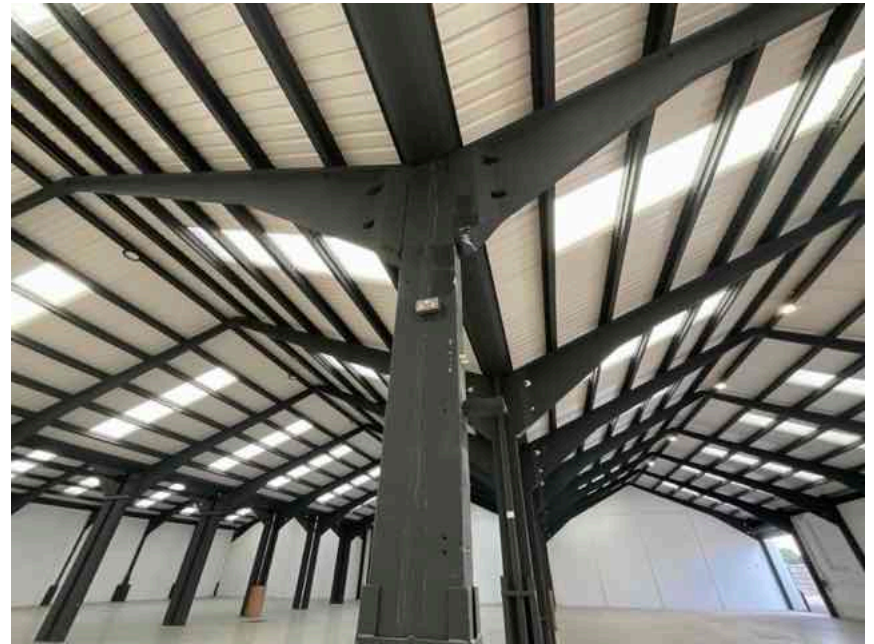


**Photo 148**

C3  
Floor structure



**Photo 149** C3  
Structure



**Photo 150** C3  
Structure



**Photo 151** C3  
Roof lights

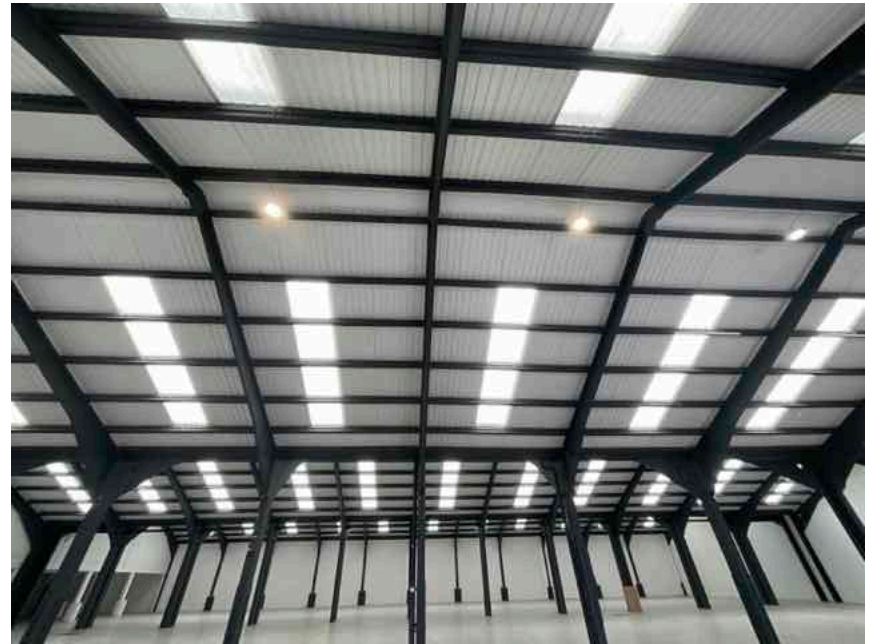


**Photo 152** C4  
Walls



**Photo 153**

C4  
Structure



**Photo 154**

C4  
Ceiling



**Photo 155**

C4  
Floor coverings



**Photo 156**

C4  
Floor coverings



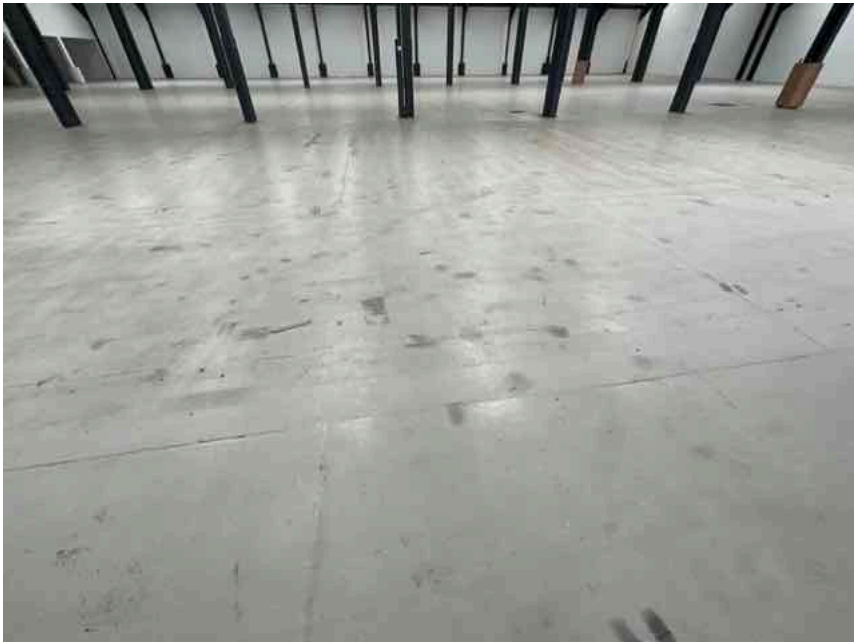
**Photo 157**

C4  
Floor coverings



**Photo 158**

C4  
Roof lights



**Photo 159**

C4  
Floor structure



**Photo 160**

C5  
Floor structure



**Photo 161** C5  
Floor structure



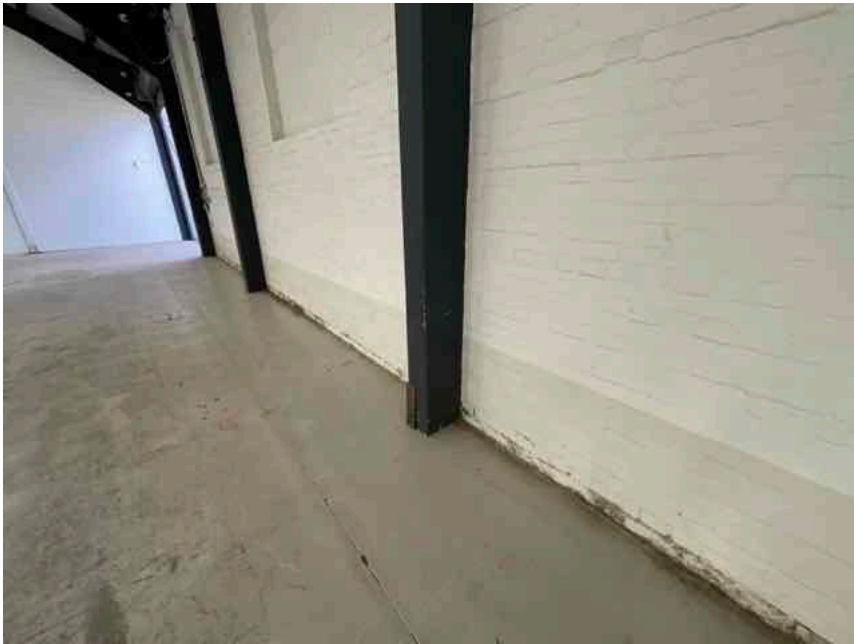
**Photo 162** C5  
Floor structure



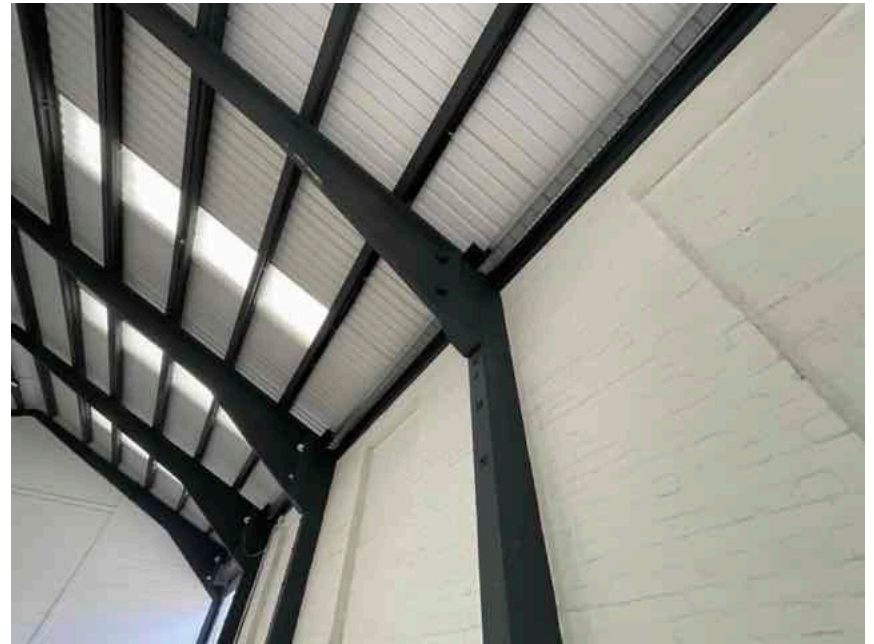
**Photo 163** C5  
Walls



**Photo 164** C5  
Ceiling



**Photo 165**  
C5  
Structure



**Photo 166**  
C5  
Structure



**Photo 167**  
C5  
Floor coverings



**Photo 168**  
C5  
Floor coverings



**Photo 169**

C5  
Roof lights



**Photo 170**

C6  
Floor structure



**Photo 171**

C6  
Structure



**Photo 172**

C6  
Roof lights



**Photo 173**

C6  
Ceiling



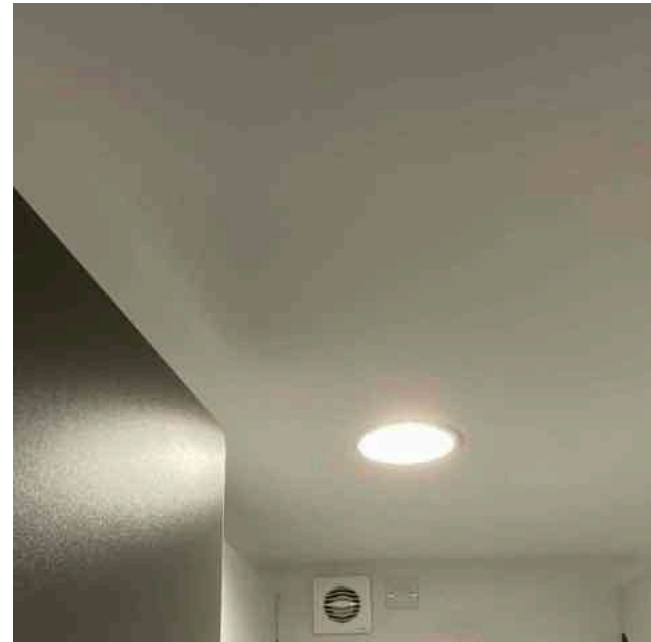
**Photo 174**

C6  
Floor coverings



**Photo 175**

C6  
Walls



**Photo 176**

W/C  
Ceiling



**Photo 177**

W/C  
Walls



**Photo 178**

W/C  
Floor structure



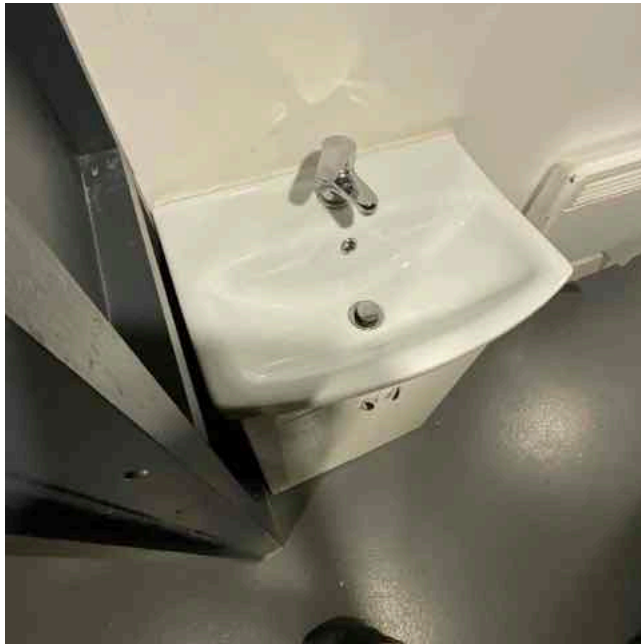
**Photo 179**

W/C  
Floor coverings



**Photo 180**

W/C  
W/C



**Photo 181**

W/C  
Basin



**Photo 182**

W/C  
Cubicles



**Photo 183**


W/C  
Triple basin.





**Photo 184**


W/C  
Mirrors


**C      Schedule of Condition Offices**


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
This Schedule of Condition is specific to the lease to which it is appended.			
<b>1st Floor Office North</b>			
Ceiling	Mineral tile suspended ceiling grid.  Inset panel lights and fire detection sounders and sensors.	Generally, in a good condition.	1 - 8
Walls	Emulsion coated plaster	In good condition generally but with poor decorative finish requiring redecoration.  Hairline cracking forming square panel to west wall.  Fine crack adjacent to MWC door.  Fine cracking around windowsills to north wall.	9 - 25
Electrical distribution trunking	White PVCu trunking with white outlets.	Good.	26 - 30
Joinery	MDF/timber joinery coated in flat paint	Generally, in good condition, but with some cracking at door perimeter and abutment with walls	31 - 35


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Floor structure	Solid	Level and true.	36
Floor coverings	Carpet tiles	Generally, in a good condition as new but with some lifting at seams.	37 - 39
Windows	Powder coated aluminium windows with double glazing	<p>Generally, in satisfactory condition, many were locked and could not be opened at the inspection.</p> <p>Generally, windows are soiled and cobwebs surrounds the windows and opening mechanisms.</p> <p>Water ingress was noted to the northwest window at the corner.</p> <p>Tape noted to central windowpane to Northwest window group.</p> <p>Sealant joint has become dislodged to Northwest window group right most window.</p>	40 - 52


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Doors	Panel door with single viewing pane.  Mortice lever latch.  Brushed stainless steel door closer, ironmongery, and Kicker plate.	As new.	53 - 54
Radiators	White electric heaters	Good. A sample were operated and were operational.	55 - 56
Windowsill	MDF coated in paint.	Cracking at perimeter abutments with walls.  Permanent marker to top surface to left most window group.  Popped screw caps generally over surface, breaking surface filler.	57 - 60
<b>1st Floor Office Central</b>			
Floor structure	Solid	Level and true.	61 - 63
Joinery	MDF/timber joinery coated in flat paint	Generally in good condition, but with some cracking at door perimeter and abutment with walls	64 - 67
Electrical distribution trunking	White PVCu trunking with white outlets.	Good.	68 - 75


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Doors	<p>Panel door with single viewing panel.</p> <p>Operated by mortice lever latch.</p> <p>Brushed stainless steel door closer and kicker plate</p>	As new.	76 - 78
Floor coverings	Carpet tiles.	Generally in a good condition, four tiles lifted towards centre of Office.	79 - 80
Windows	Powder coated aluminium windows with double glazing	<p>Generally in satisfactory condition, many were locked and could not be opened at the inspection.</p> <p>Generally, windows are soiled and cobwebs surrounds the windows and opening mechanisms</p>	81 - 85
Walls	Emulsion coated plaster	<p>In good condition generally but with poor decorative finish requiring redecoration.</p> <p>Fine crack above radiator to south of East facing wall.</p>	86 - 89


<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Ceiling	Mineral tile suspended ceiling grid.  With inset panel lights and fire detection sounders and sensor.	Generally in a good condition, as new.	90 - 91
Radiators	White electric heaters	Good. A sample were operated and were operational.	92
Windowsills	Mdf coated in paint.	Satisfactory generally.  Perimeter cracking to each sill.  Central crack to centre window group section.	93 - 97
<b>1st Floor Office South</b>			
Walls	Emulsion coated plaster	In good condition generally but with poor decorative finish requiring redecoration.  Fine crack above radiator to south of East facing wall.	98 - 108
Radiators	White electric heaters	Good.  A sample were operated and were operational.	109

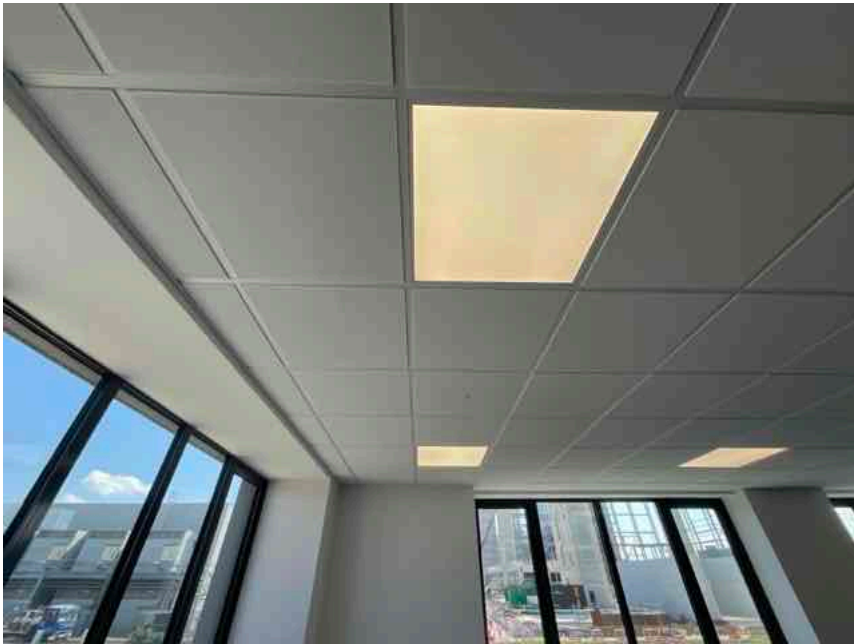
<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Windows	Powder coated aluminium windows with double glazing	<p>Generally in satisfactory condition, many were locked and could not be opened at the inspection.</p> <p>Windows are soiled and cobwebs surrounds the windows and opening mechanisms.</p> <p>Untidy sealant joint at central group junction with ceiling.</p>	110 - 113
Floor coverings	Carpet tiles.	Generally in a good condition.	114 - 115
Electrical distribution trunking	White PVCu trunking with white outlets.	Good.	116 - 121
Floor structure	Solid	Level and true.	122
Ceiling	<p>Mineral tile suspended ceiling grid.</p> <p>With inset panel lights and fire detection sounders and sensor.</p>	<p>Generally in a good condition, as new.</p> <p>One dislodged tile at entrance to adjoining room</p>	123 - 125

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Doors	Panel door with single viewing pane.  Operated by mortice lever latch.  Brushed stainless steel Door closer and Kicker plate	As new.	126 - 128
Joinery	MDF/timber joinery coated in flat paint.	Generally, in good condition, but with some cracking at door perimeter and abutment with walls	129
Windowsills	MDF with flat paint	Satisfactory generally, but with some opening at sealant joint.	130 - 136
<b>Lobby to WC</b>			
Doors	Panel door with single viewing pane.  Operated by mortice lever latch.  Brushed stainless steel door closer and Kicker plate	As new.	137 - 138
Floor structure	Solid with timber steps.	Level and true.	139 - 140

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Walls	Emulsion coated plaster	In good condition generally but with poor decorative finish requiring redecoration.  General cracking between ceiling and wall junction.	141 - 143
Floor coverings	Carpet tiles. Nosings to stair.	Generally, in a good condition.	144
Ceiling	Plasterboard covered in emulsion.	Generally, in a good condition.	145
Joinery	MDF/timber joinery coated in flat paint	Generally, in good condition.	146 - 148
<b>MWC</b>			
Ceiling	Suspended scene grid with mineral tiles.	Satisfactory.	149 - 150
Walls	Emulsion coated plaster	Generally satisfactory but soiled in places requiring redecoration.	151 - 153
Woodwork	MDF covered in flat paint	Generally, in satisfactory condition but soiled and in need of redecoration	154 - 155
Floor structure	Solid floor structure.	Satisfactory, true and level.	156
Floor coverings	Vinyl floor coverings	Satisfactory	157
Toilet	Ceramic WC with concealed cistern within panelling	Satisfactory condition. Flush satisfactory.	158 - 161

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Sink	Ceramic sinks with chrome plated taps built in timber vanity units	In good condition as new	162
IPS cubicles	IPS contiguous cubicles	Good although soiled generally.	163 - 168
Urinals	Ceramic.	Good.	169 - 170
Mirrors to basins	Glass mirrors	Satisfactory	171
<b>WWC</b>			
Floor structure	Solid floor structure	Satisfactory, true and level	172
Woodwork	MDF covered in flat paint	Generally, in satisfactory condition but soiled and in need of redecoration	173 - 174
Sink	Ceramic sinks with chrome plated taps built in timber vanity units	In good condition as new	175
Floor coverings	Vinyl floor coverings	Satisfactory	176
Toilet	Ceramic WC with concealed system within panelling	Satisfactory condition. Flush satisfactory.	177
Ceiling	Suspended scene grid with mineral tiles.	Satisfactory.	178
Walls	Emulsion coated plaster.	Generally satisfactory but soiled in places requiring redecoration.	179 - 181
Mirrors to basins	Glass mirrors	Satisfactory	182

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
IPS cubicles	IPS contiguous cubicles	Good although lightly soiled generally.	183 - 189
<b>Stairwell and entrance</b>			
Ceiling	Plasterboard covered in emulsion.	Satisfactory condition.	190 - 191
Walls	Plaster coated in emulsion.	Generally, in good condition, but with some patchy paint work.	192 - 197
Woodwork	MDF coated in flat paint with black stair stringer.	Generally satisfactory condition with some minor cracking.	198
Stair	Reinforced concrete stairway coated in white paint and with carpet treads and rises with grey nosing.  Plastic handrail on fabricated steel balustrade.	Generally, in condition.	199 - 204
Floor structure	Solid.	Good condition.	205
Floor coverings	Carpet tiles.	Good condition.	206 - 207
Windows	Aluminium double glazed casement windows.	Generally, in good condition.	208 - 209



**Photo 1**

1st Floor Office North Recover  
Ceiling



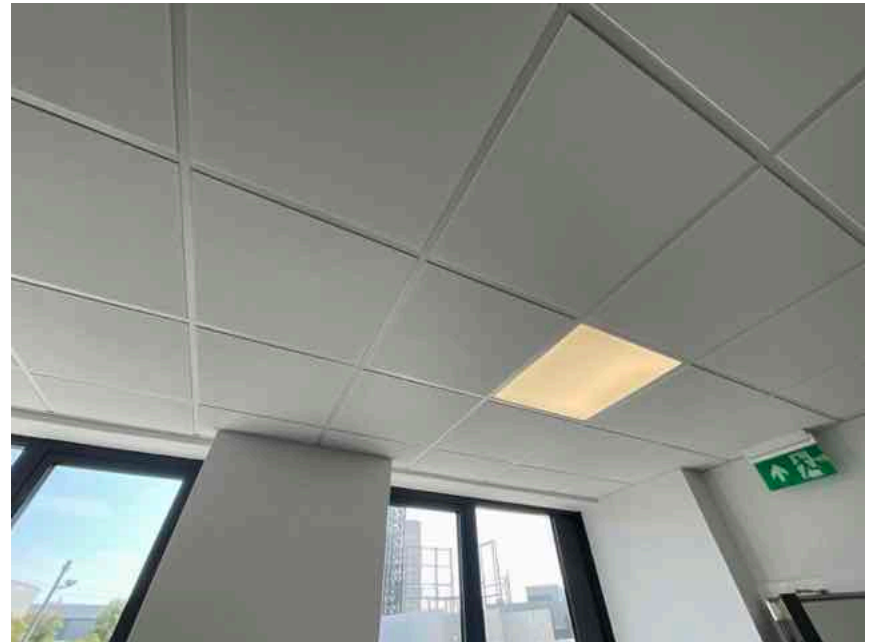
**Photo 2**

1st Floor Office North Recover  
Ceiling



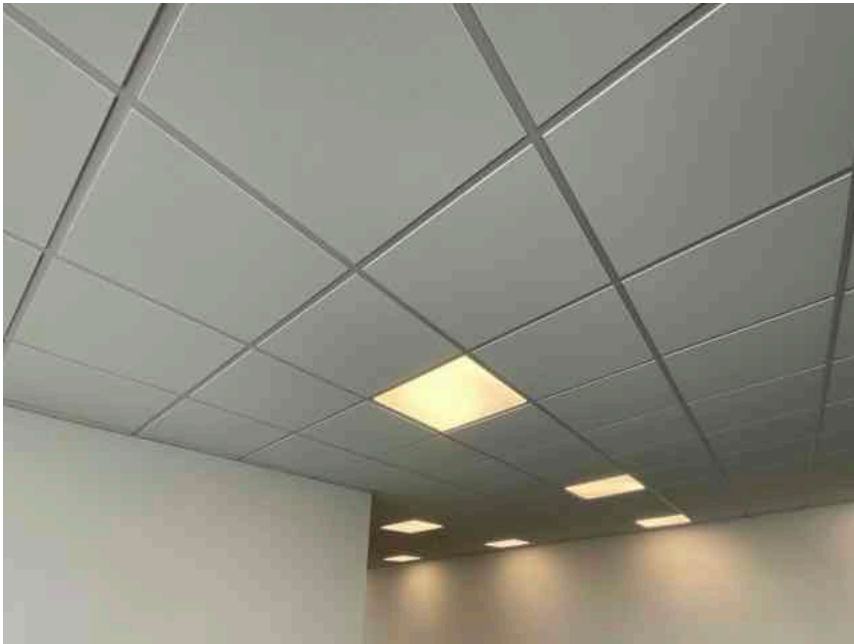
**Photo 3**

1st Floor Office North Recover  
Ceiling



**Photo 4**

1st Floor Office North Recover  
Ceiling



**Photo 5**

1st Floor Office North Recover  
Ceiling



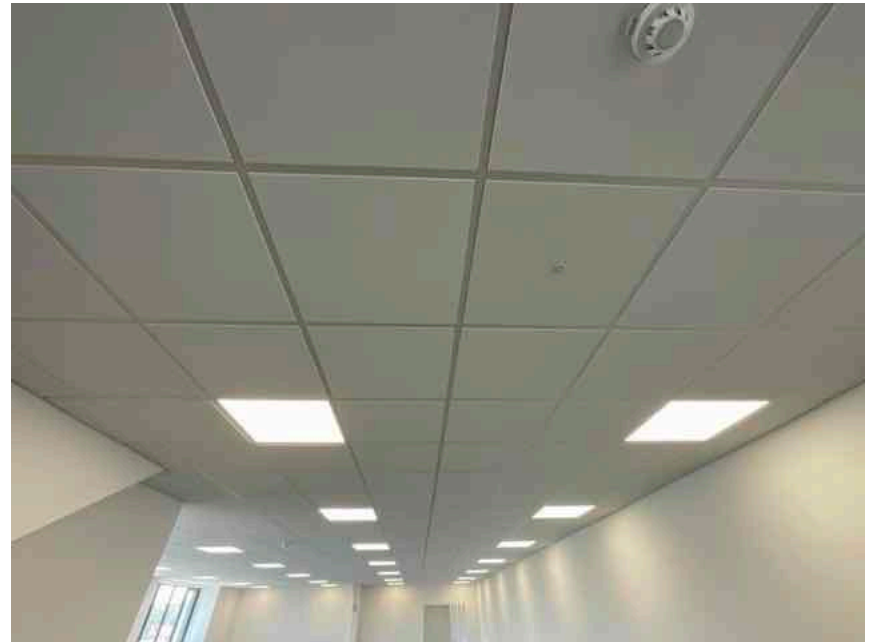
**Photo 6**

1st Floor Office North Recover  
Ceiling



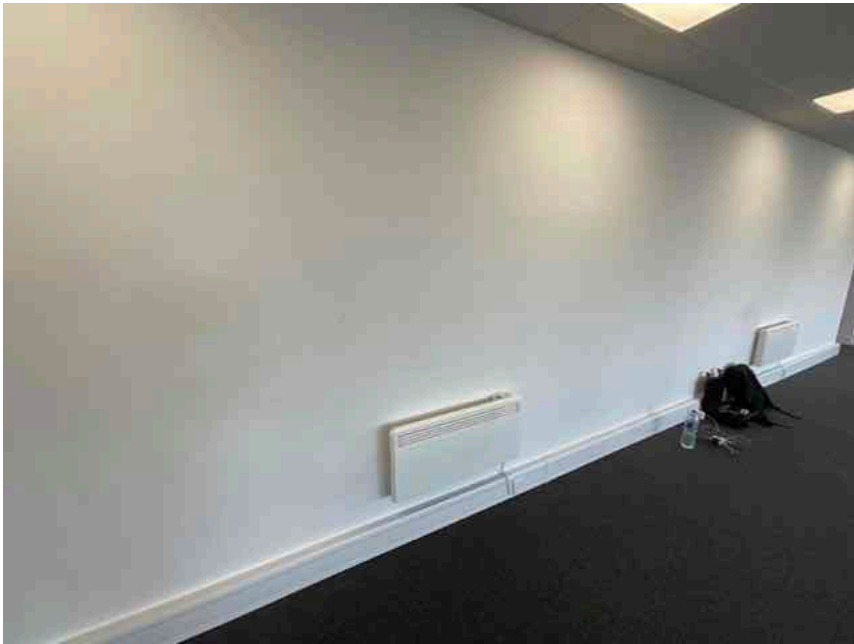
**Photo 7**

1st Floor Office North Recover  
Ceiling



**Photo 8**

1st Floor Office North Recover  
Ceiling



**Photo 9**

1st Floor Office North Recover  
Walls



**Photo 10**

1st Floor Office North Recover  
Walls



**Photo 11**

1st Floor Office North Recover  
Walls



**Photo 12**

1st Floor Office North Recover  
Walls



**Photo 13**

1st Floor Office North Recover  
Walls



**Photo 14**

1st Floor Office North Recover  
Walls



**Photo 15**

1st Floor Office North Recover  
Walls



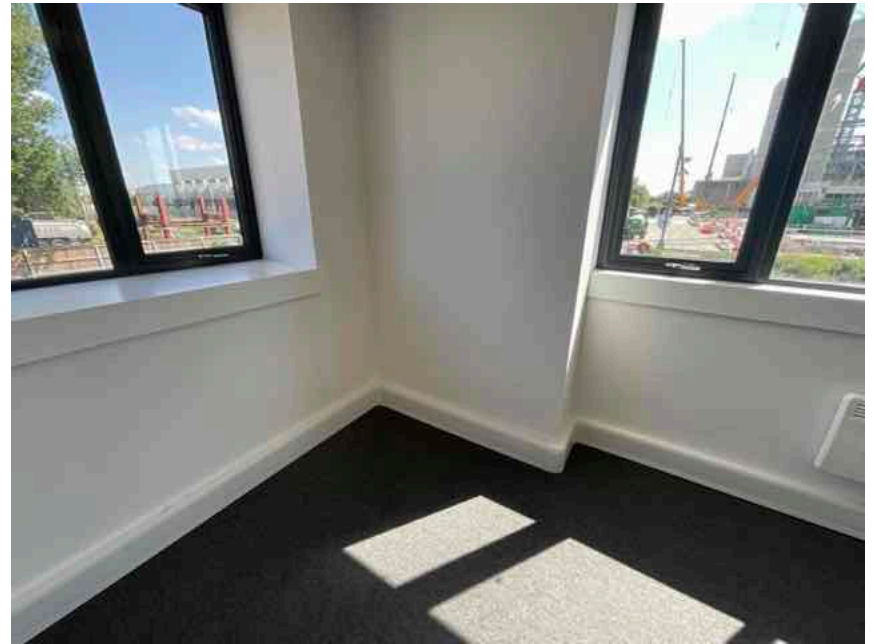
**Photo 16**

1st Floor Office North Recover  
Walls



**Photo 17**

1st Floor Office North Recover  
Walls



**Photo 18**

1st Floor Office North Recover  
Walls



**Photo 19**

1st Floor Office North Recover  
Walls



**Photo 20**

1st Floor Office North Recover  
Walls



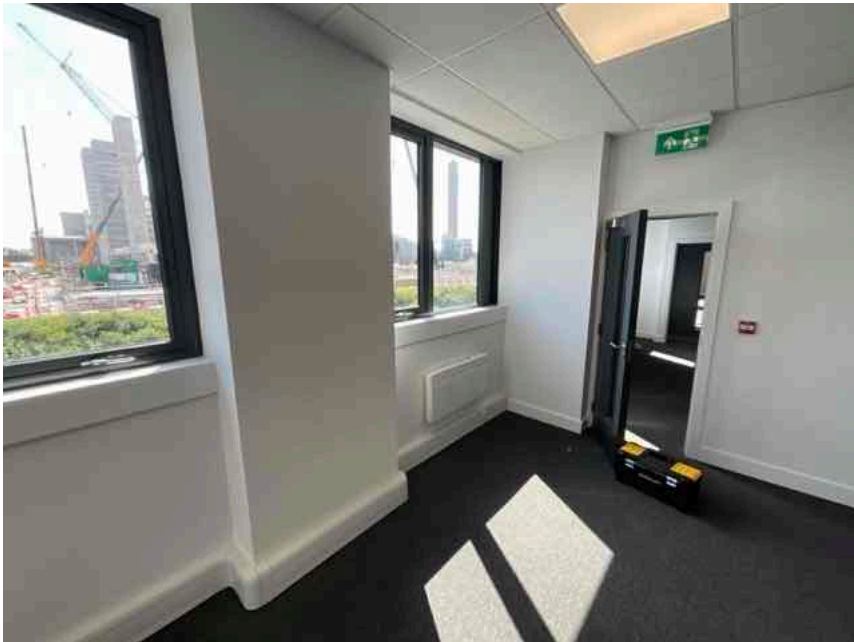
**Photo 21**

1st Floor Office North Recover  
Walls



**Photo 22**

1st Floor Office North Recover  
Walls



**Photo 23**

1st Floor Office North Recover  
Walls



**Photo 24**

1st Floor Office North Recover  
Walls



**Photo 25**

1st Floor Office North Recover  
Walls



**Photo 26**

1st Floor Office North Recover  
Electrical distribution trunki



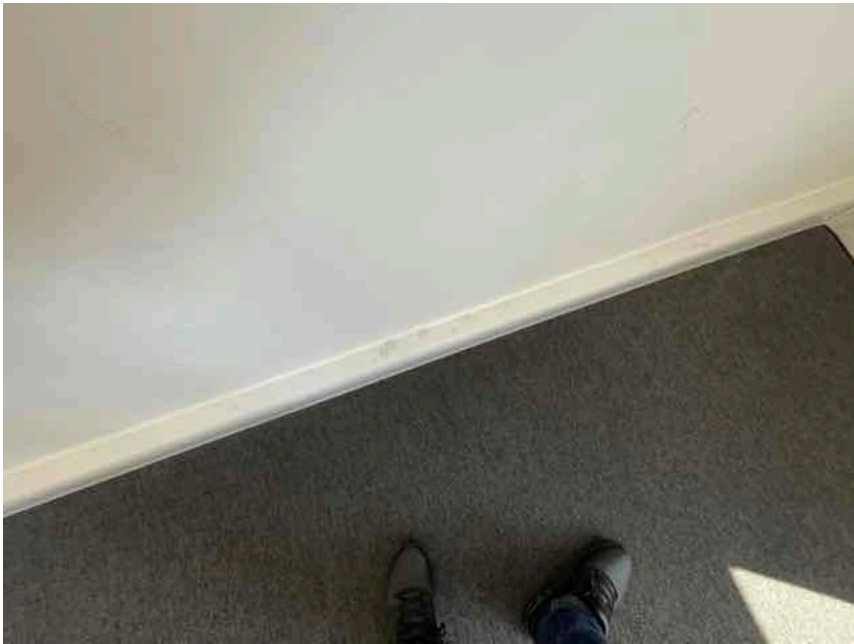
**Photo 27**

1st Floor Office North Recover  
Electrical distribution trunki



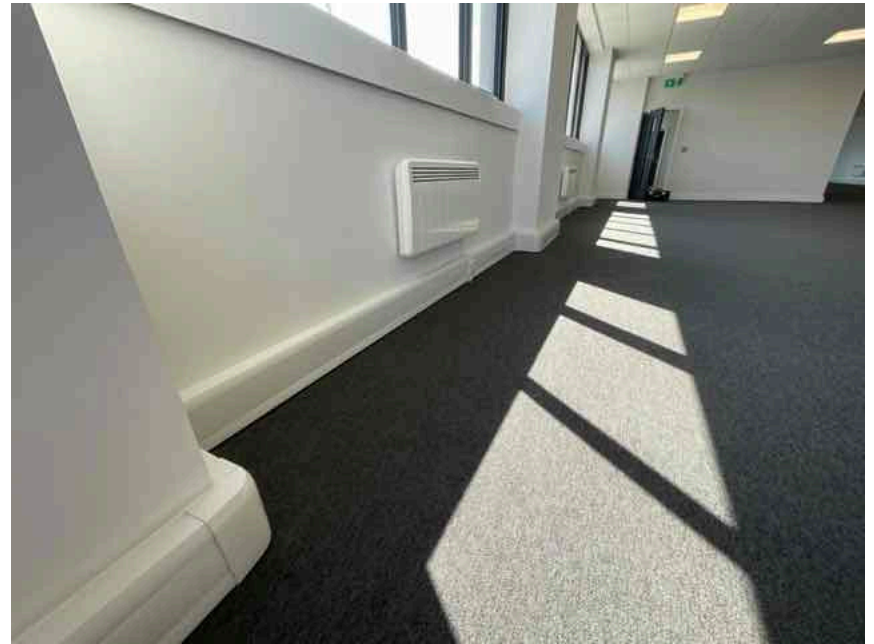
**Photo 28**

1st Floor Office North Recover  
Electrical distribution trunki



**Photo 29**

1st Floor Office North Recover  
Electrical distribution trunki



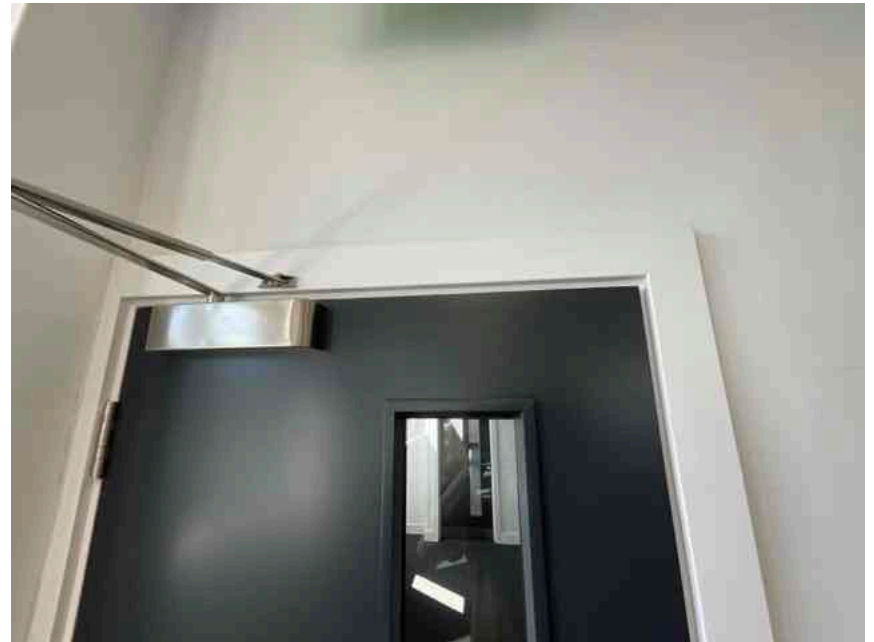
**Photo 30**

1st Floor Office North Recover  
Electrical distribution trunki



**Photo 31**

1st Floor Office North Recover  
Joinery



**Photo 32**

1st Floor Office North Recover  
Joinery



**Photo 33**

1st Floor Office North Recover  
Joinery



**Photo 34**

1st Floor Office North Recover  
Joinery



**Photo 35**

1st Floor Office North Recover  
Joinery



**Photo 36**

1st Floor Office North Recover  
Floor structure



**Photo 37**

1st Floor Office North Recover  
Floor coverings



**Photo 38**

1st Floor Office North Recover  
Floor coverings



**Photo 39**

1st Floor Office North Recover  
Floor coverings



**Photo 40**

1st Floor Office North Recover  
Windows



**Photo 41**

1st Floor Office North Recover  
Windows



**Photo 42**

1st Floor Office North Recover  
Windows



**Photo 43**

1st Floor Office North Recover  
Windows



**Photo 44**

1st Floor Office North Recover  
Windows



**Photo 45**

1st Floor Office North Recover  
Windows



**Photo 46**

1st Floor Office North Recover  
Windows



**Photo 47**

1st Floor Office North Recover  
Windows



**Photo 48**

1st Floor Office North Recover  
Windows



**Photo 49**

1st Floor Office North Recover  
Windows



**Photo 50**

1st Floor Office North Recover  
Windows



**Photo 51**

1st Floor Office North Recover  
Windows



**Photo 52**

1st Floor Office North Recover  
Windows



**Photo 53**

1st Floor Office North Recover  
Doors



**Photo 54**

1st Floor Office North Recover  
Doors



**Photo 55**

1st Floor Office North Recover  
Radiators



**Photo 56**

1st Floor Office North Recover  
Radiators



**Photo 57**

1st Floor Office North Recover  
Windowsill



**Photo 58**

1st Floor Office North Recover  
Windowsill



**Photo 59**

1st Floor Office North Recover  
Windowsill



**Photo 60**

1st Floor Office North Recover  
Windowsill



**Photo 61**

1st Floor Office Central  
Floor structure



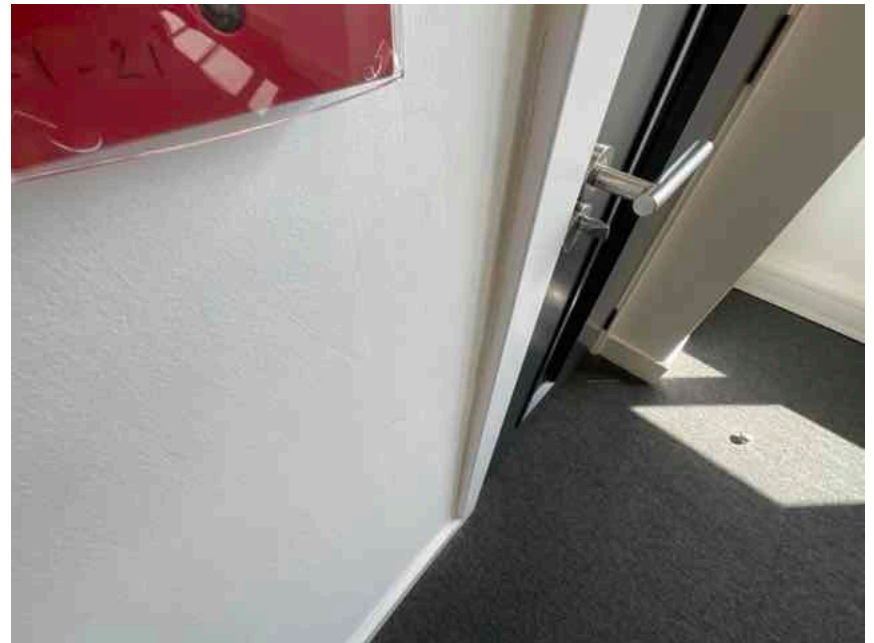
**Photo 62**

1st Floor Office Central  
Floor structure



**Photo 63**

1st Floor Office Central  
Floor structure



**Photo 64**

1st Floor Office Central  
Joinery



**Photo 65**

1st Floor Office Central  
Joinery



**Photo 66**

1st Floor Office Central  
Joinery



**Photo 67**

1st Floor Office Central  
Joinery



**Photo 68**

1st Floor Office Central  
Electrical distribution trunki



**Photo 69**

1st Floor Office Central  
Electrical distribution trunki



**Photo 70**

1st Floor Office Central  
Electrical distribution trunki



**Photo 71**

1st Floor Office Central  
Electrical distribution trunki



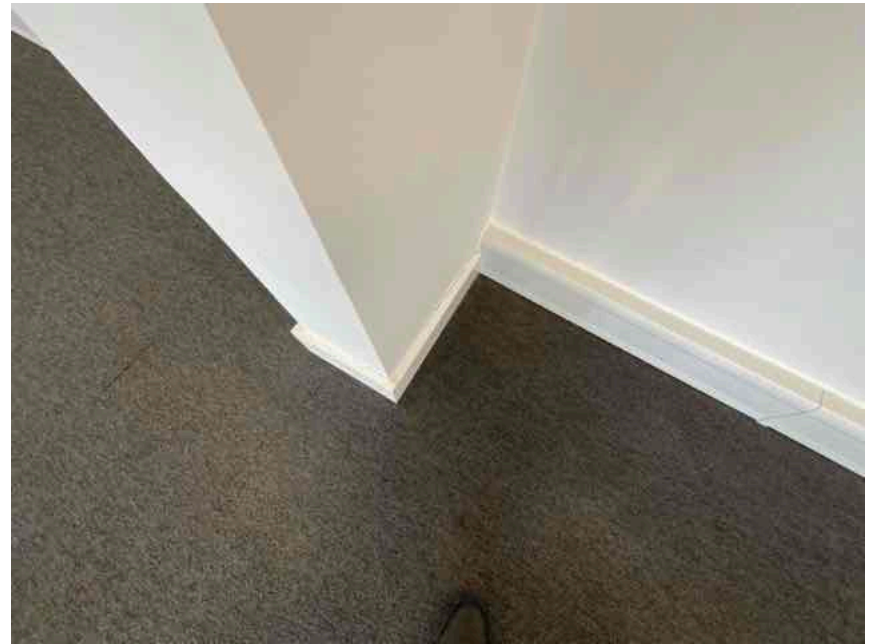
**Photo 72**

1st Floor Office Central  
Electrical distribution trunki



**Photo 73**

1st Floor Office Central  
Electrical distribution trunki



**Photo 74**

1st Floor Office Central  
Electrical distribution trunki



**Photo 75**

1st Floor Office Central  
Electrical distribution trunki



**Photo 76**

1st Floor Office Central  
Doors



**Photo 77**

1st Floor Office Central  
Doors



**Photo 78**

1st Floor Office Central  
Doors



**Photo 79**

1st Floor Office Central  
Floor coverings



**Photo 80**

1st Floor Office Central  
Floor coverings



**Photo 81**

1st Floor Office Central  
Windows



**Photo 82**

1st Floor Office Central  
Windows



**Photo 83**

1st Floor Office Central  
Windows



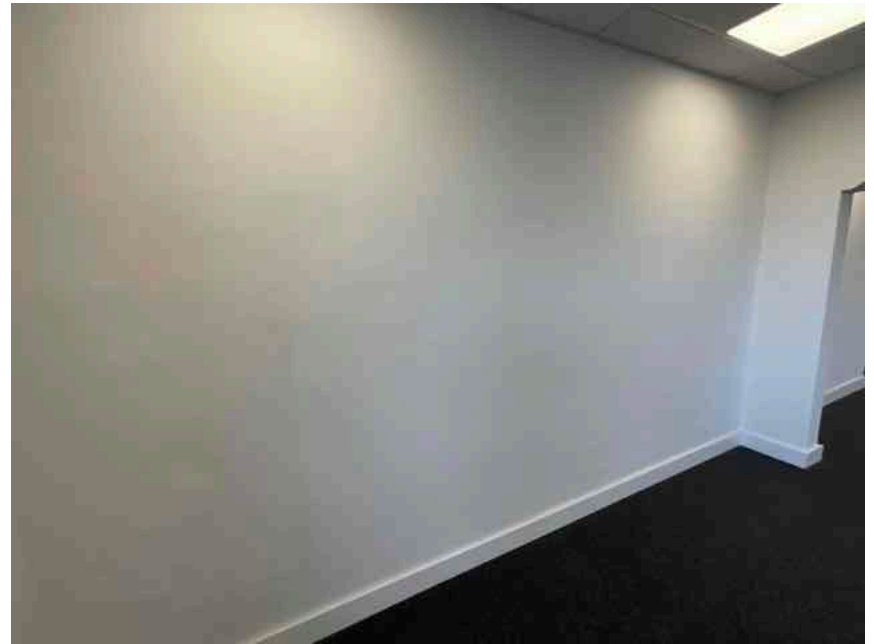
**Photo 84**

1st Floor Office Central  
Windows



**Photo 85**

1st Floor Office Central  
Windows



**Photo 86**

1st Floor Office Central  
Walls



**Photo 87**

1st Floor Office Central  
Walls



**Photo 88**

1st Floor Office Central  
Walls



**Photo 89**

1st Floor Office Central  
Walls



**Photo 90**

1st Floor Office Central  
Ceiling



**Photo 91**

1st Floor Office Central  
Ceiling



**Photo 92**

1st Floor Office Central  
Radiators



**Photo 93**

1st Floor Office Central  
Windowsills



**Photo 94**

1st Floor Office Central  
Windowsills



**Photo 95**

1st Floor Office Central  
Windowsills



**Photo 96**

1st Floor Office Central  
Windowsills



**Photo 97**

1st Floor Office Central  
Windowsills



**Photo 98**

1st Floor Office South  
Walls



**Photo 99**

1st Floor Office South  
Walls



**Photo 100**

1st Floor Office South  
Walls



**Photo 101**

1st Floor Office South  
Walls



**Photo 102**

1st Floor Office South  
Walls



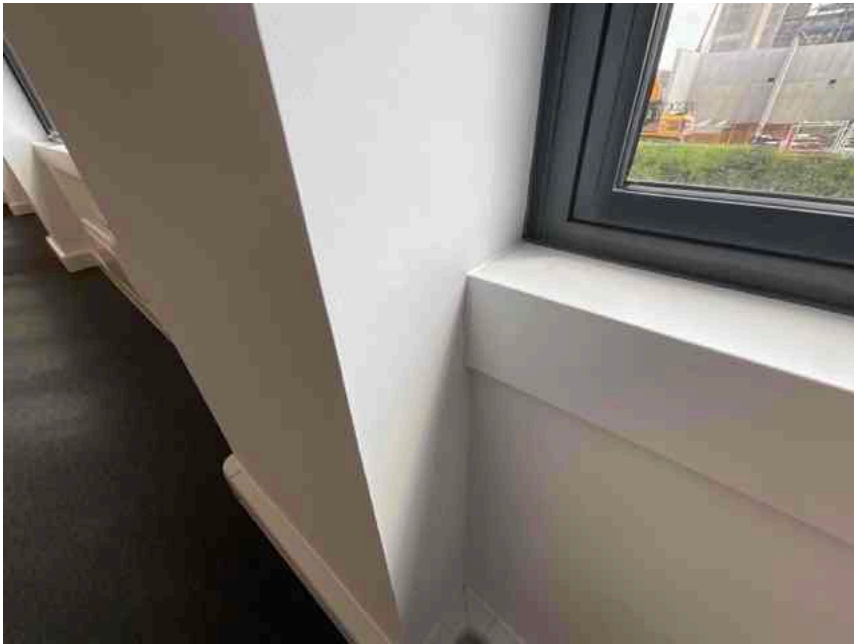
**Photo 103**

1st Floor Office South  
Walls



**Photo 104**

1st Floor Office South  
Walls



**Photo 105**

1st Floor Office South  
Walls



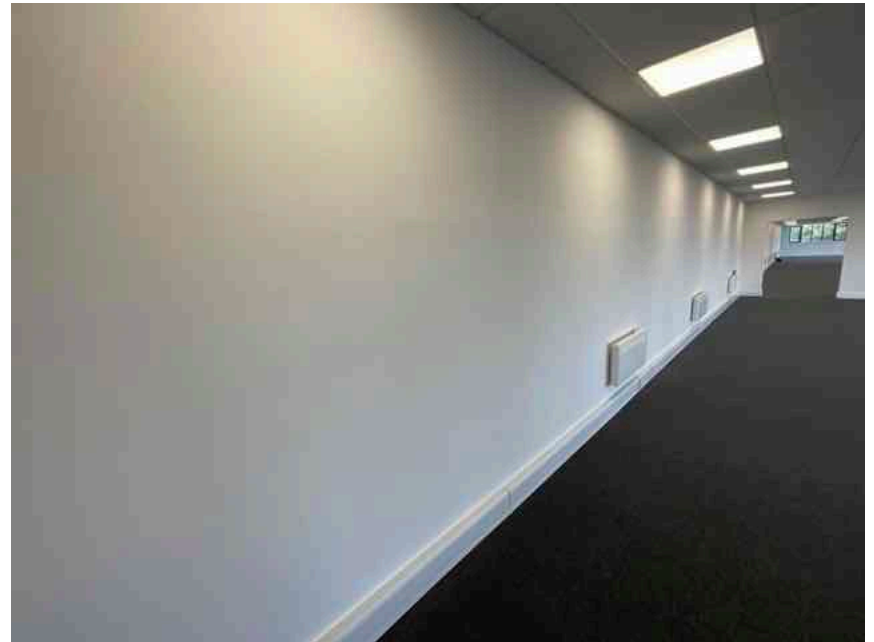
**Photo 106**

1st Floor Office South  
Walls



**Photo 107**

1st Floor Office South  
Walls



**Photo 108**

1st Floor Office South  
Walls



**Photo 109**

1st Floor Office South  
Radiators



**Photo 110**

1st Floor Office South  
Windows



**Photo 111**

1st Floor Office South  
Windows



**Photo 112**

1st Floor Office South  
Windows



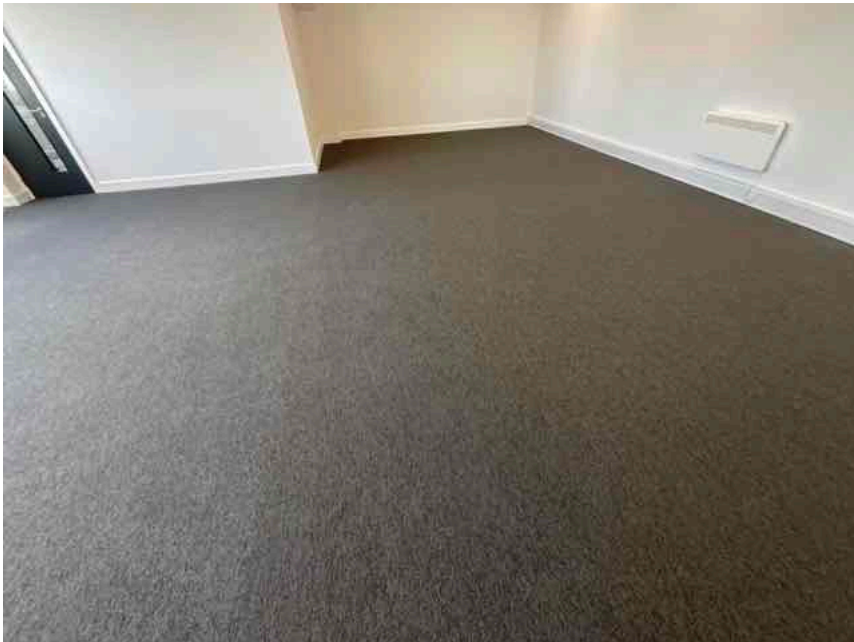
**Photo 113**

1st Floor Office South  
Windows



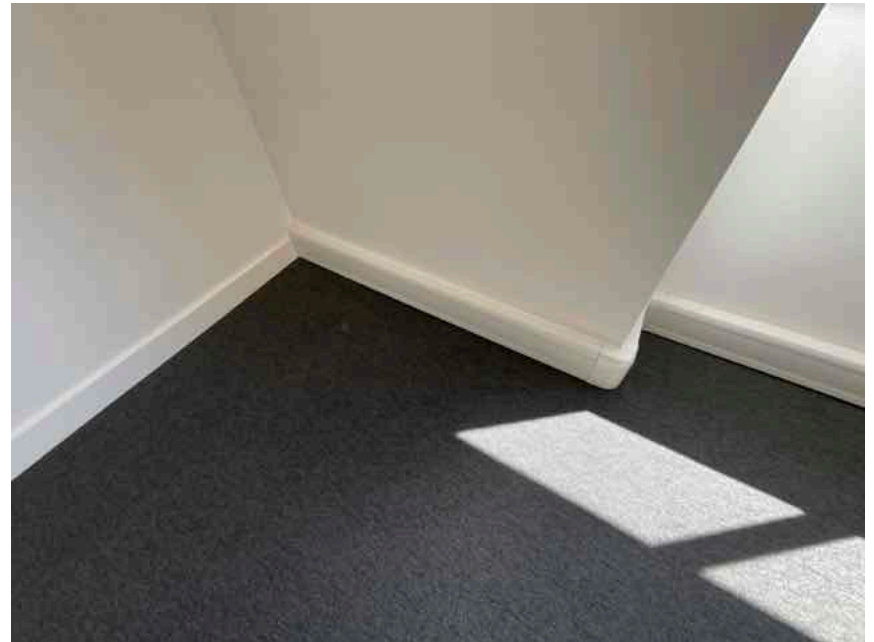
**Photo 114**

1st Floor Office South  
Floor coverings



**Photo 115**

1st Floor Office South  
Floor coverings



**Photo 116**

1st Floor Office South  
Electrical distribution trunk



**Photo 117**

1st Floor Office South  
Electrical distribution trunki



**Photo 118**

1st Floor Office South  
Electrical distribution trunki



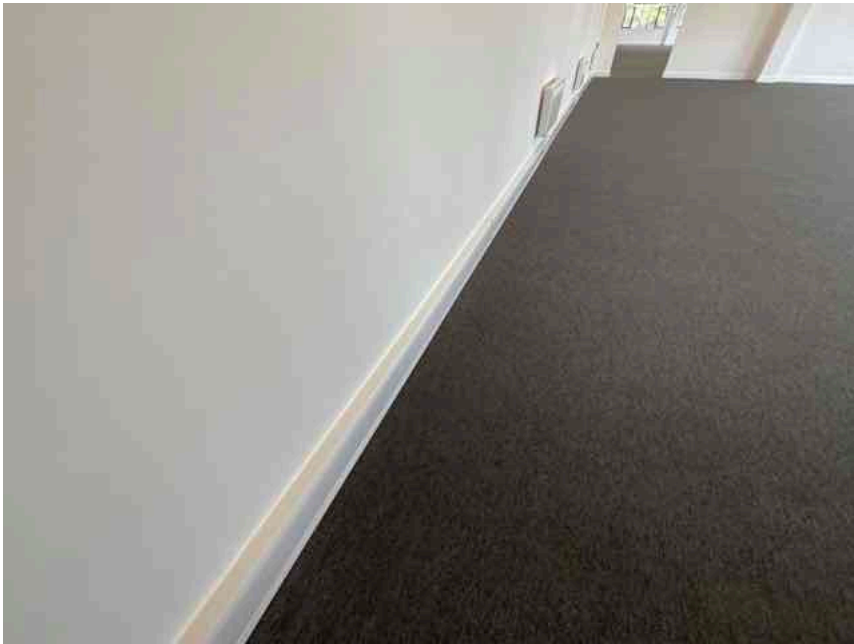
**Photo 119**

1st Floor Office South  
Electrical distribution trunki



**Photo 120**

1st Floor Office South  
Electrical distribution trunki



**Photo 121**

1st Floor Office South  
Electrical distribution trunk



**Photo 122**

1st Floor Office South  
Floor structure



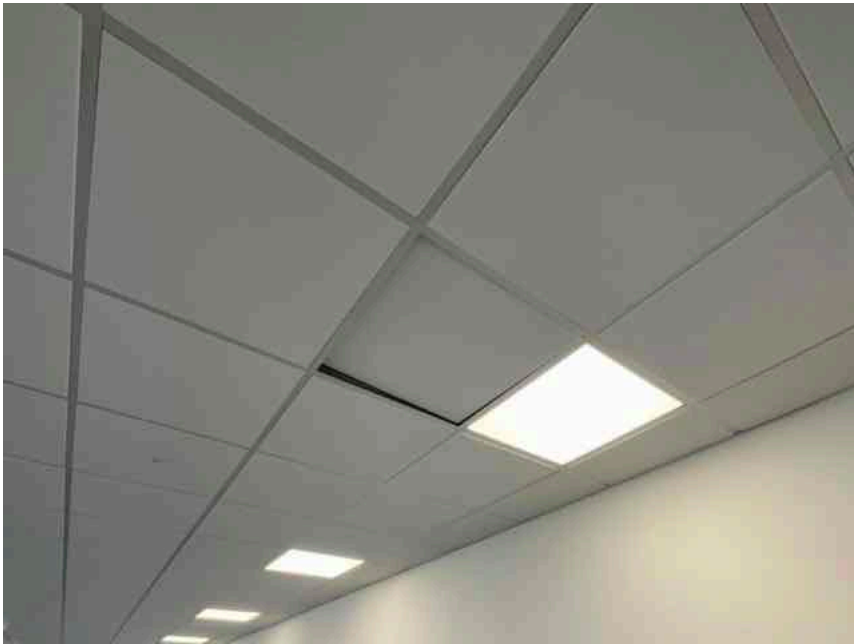
**Photo 123**

1st Floor Office South  
Ceiling



**Photo 124**

1st Floor Office South  
Ceiling



**Photo 125**

1st Floor Office South  
Ceiling



**Photo 126**

1st Floor Office South  
Doors



**Photo 127**

1st Floor Office South  
Doors



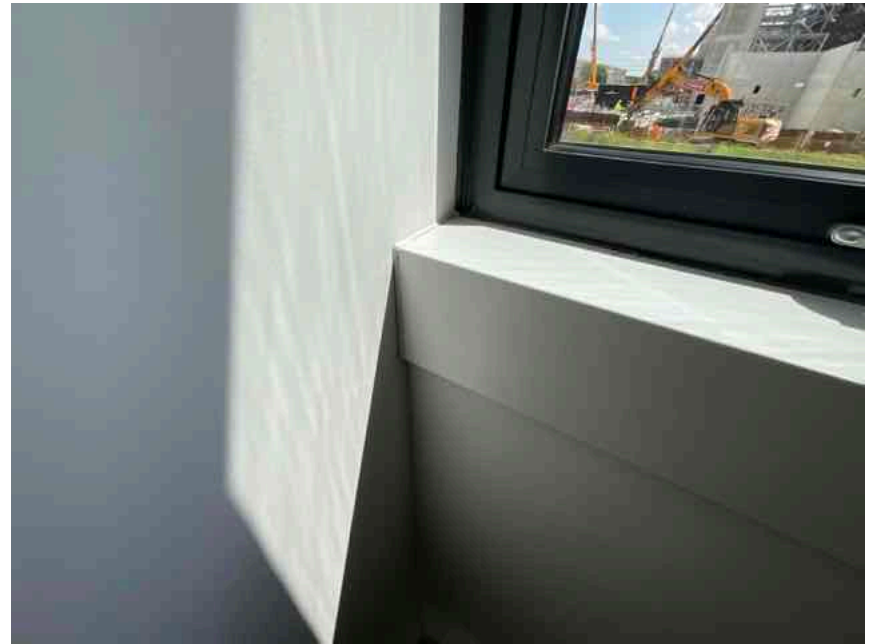
**Photo 128**

1st Floor Office South  
Doors



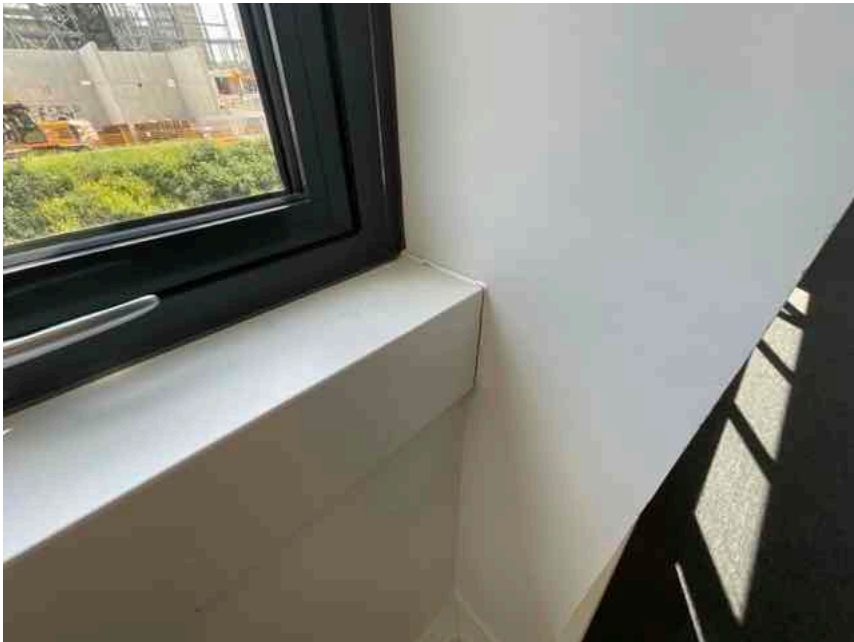
**Photo 129**

1st Floor Office South  
Joinery



**Photo 130**

1st Floor Office South  
Windowsills



**Photo 131**

1st Floor Office South  
Windowsills



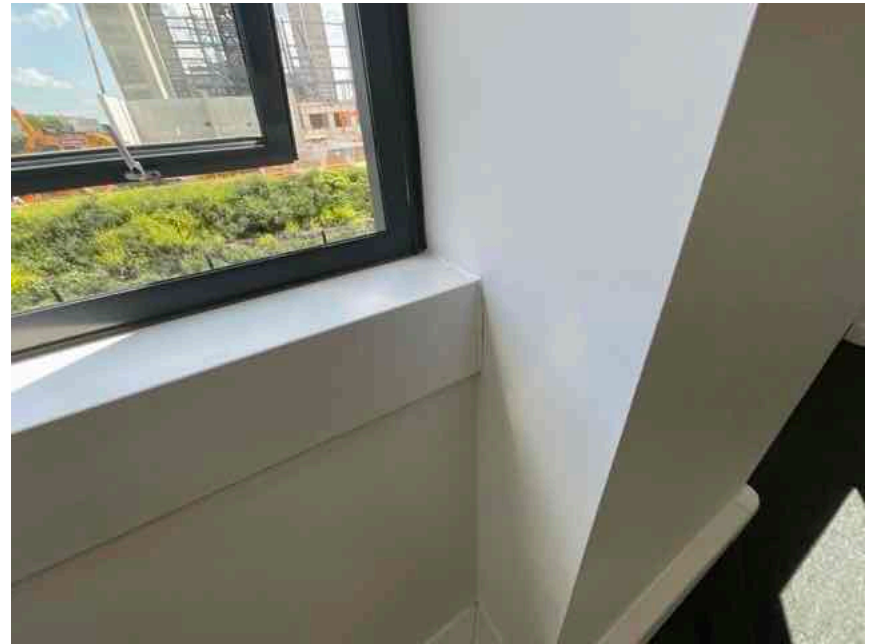
**Photo 132**

1st Floor Office South  
Windowsills



**Photo 133**

1st Floor Office South  
Windowsills



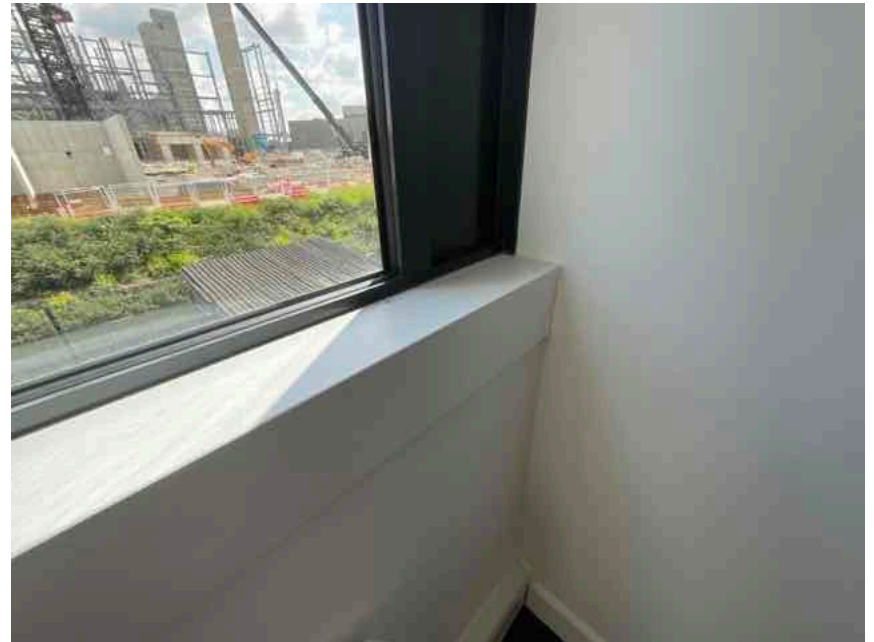
**Photo 134**

1st Floor Office South  
Windowsills



**Photo 135**

1st Floor Office South  
Windowsills



**Photo 136**

1st Floor Office South  
Windowsills



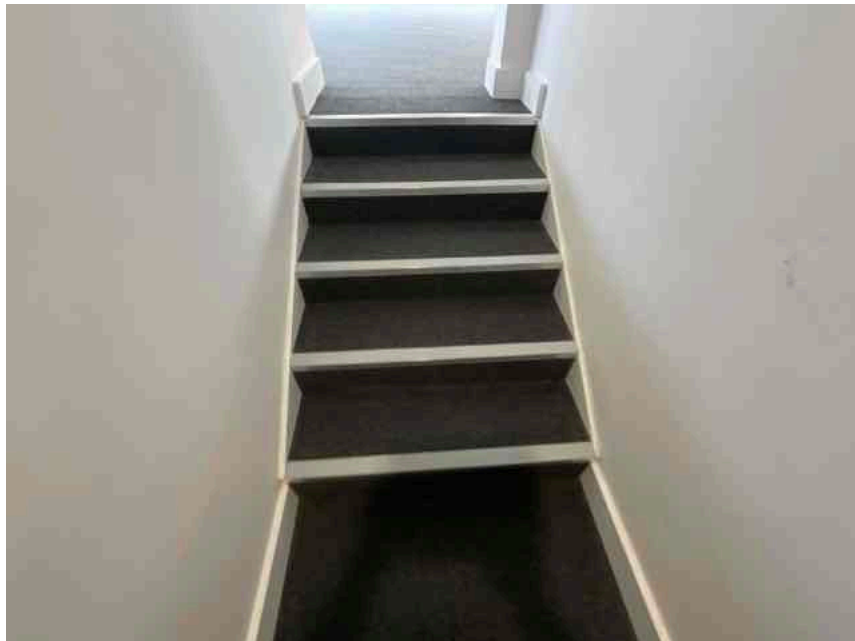
**Photo 137**

Lobby to WC  
Doors



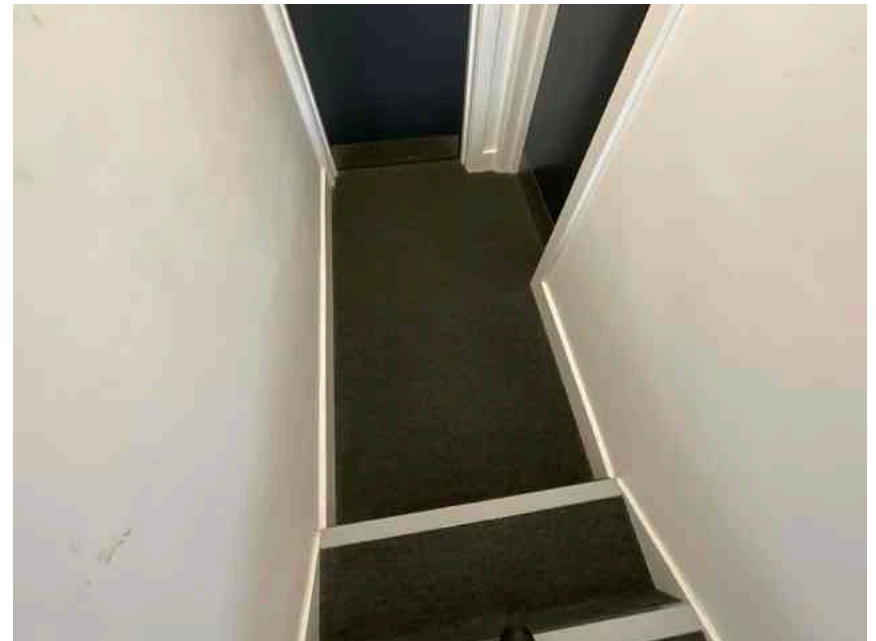
**Photo 138**

Lobby to WC  
Doors



**Photo 139**

Lobby to WC  
Floor structure



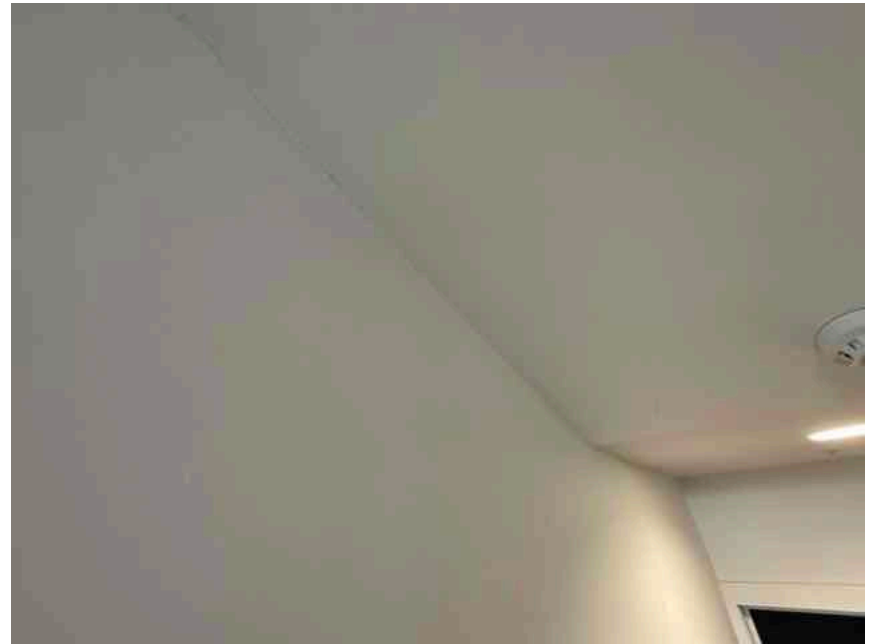
**Photo 140**

Lobby to WC  
Floor structure



**Photo 141**

Lobby to WC  
Walls



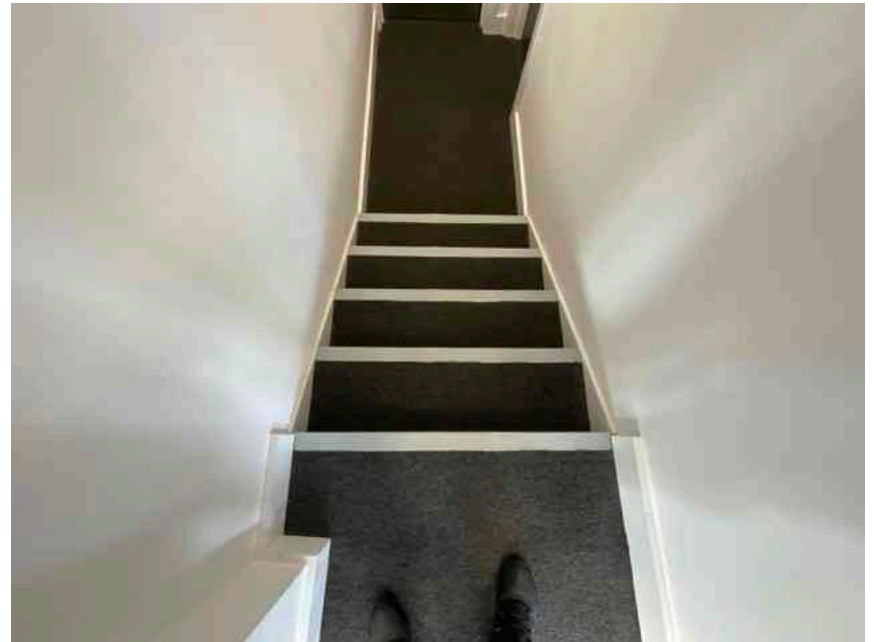
**Photo 142**

Lobby to WC  
Walls



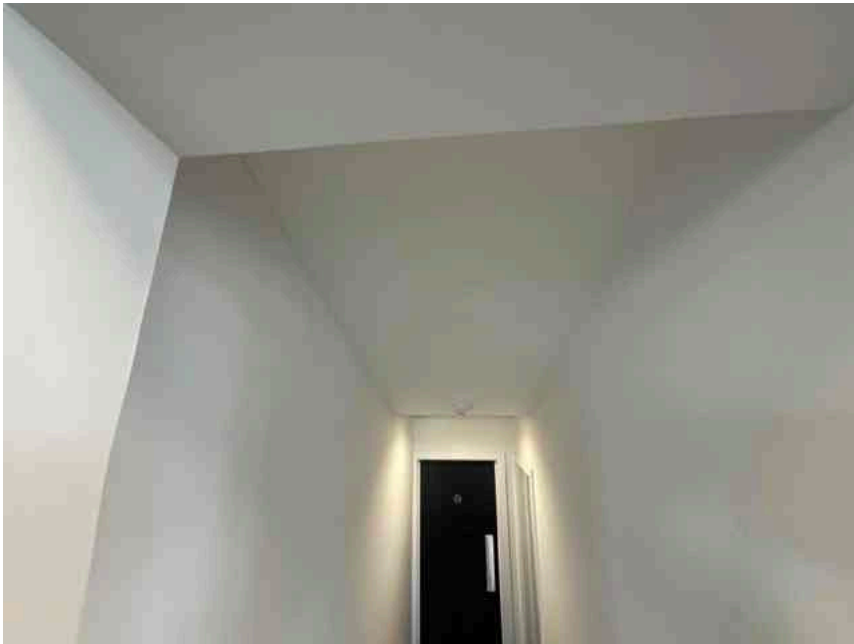
**Photo 143**

Lobby to WC  
Walls



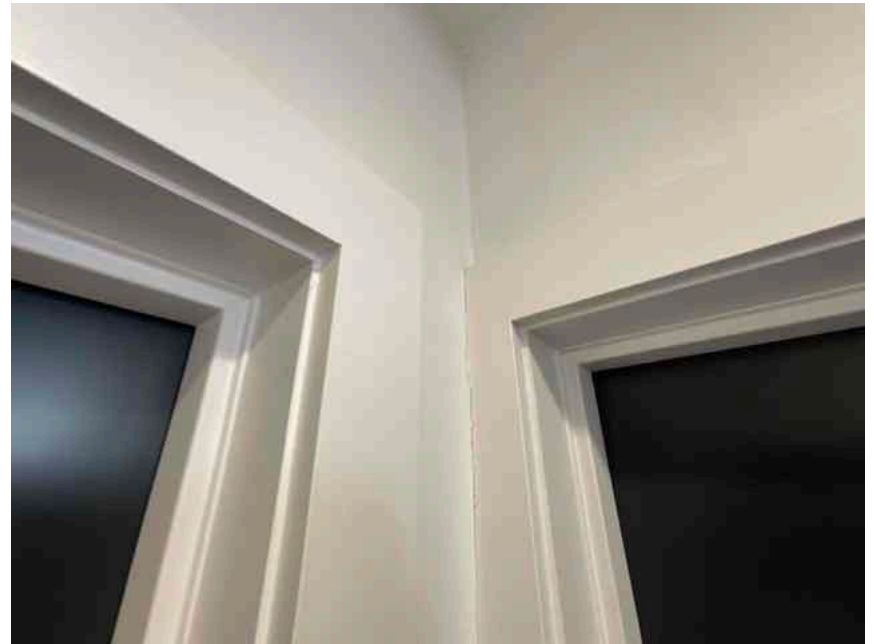
**Photo 144**

Lobby to WC  
Floor coverings



**Photo 145**

Lobby to WC  
Ceiling



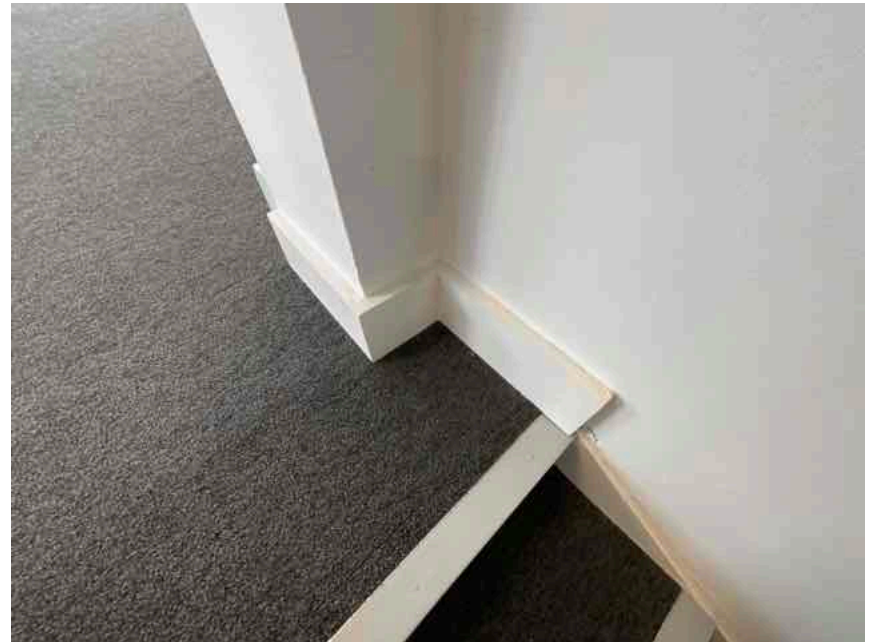
**Photo 146**

Lobby to WC  
Joinery



**Photo 147**

Lobby to WC  
Joinery

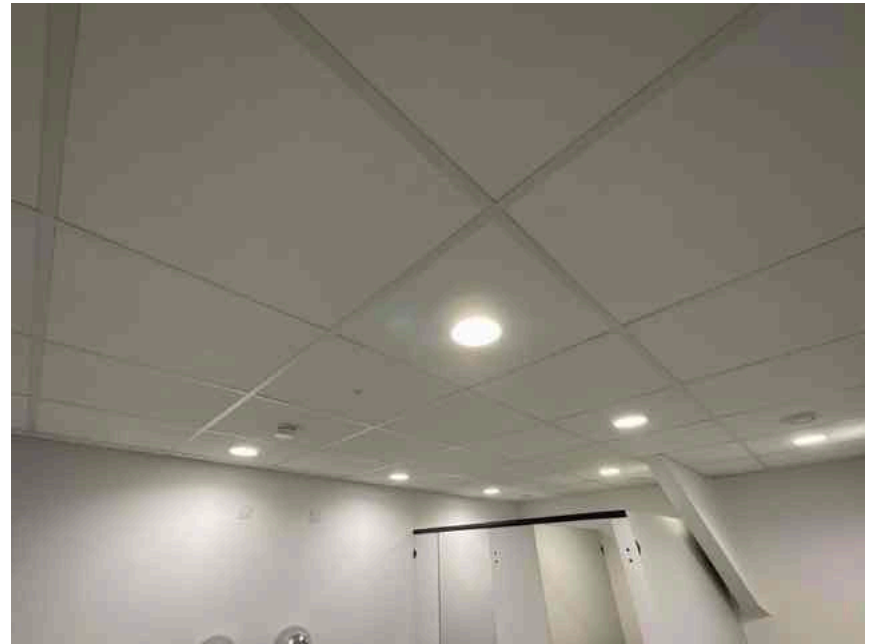


**Photo 148**

Lobby to WC  
Joinery



**Photo 149** MWC  
Ceiling



**Photo 150** MWC  
Ceiling



**Photo 151** MWC  
Walls



**Photo 152** MWC  
Walls



**Photo 153**

MWC  
Walls



**Photo 154**

MWC  
Woodwork



**Photo 155**

MWC  
Woodwork



**Photo 156**

MWC  
Floor structure



**Photo 157**

MWC  
Floor coverings



**Photo 158**

MWC  
Toilet



**Photo 159**

MWC  
Toilet



**Photo 160**

MWC  
Toilet



**Photo 161**

MWC  
Toilet



**Photo 162**

MWC  
Sink



**Photo 163**

MWC  
IPS cubicles



**Photo 164**

MWC  
IPS cubicles



**Photo 165** MWC  
IPS cubicles



**Photo 166** MWC  
IPS cubicles



**Photo 167** MWC  
IPS cubicles



**Photo 168** MWC  
IPS cubicles



**Photo 169**

MWC  
Urinals



**Photo 170**

MWC  
Urinals



**Photo 171**

MWC  
Mirrors to basins



**Photo 172**

WWC  
Floor structure



**Photo 173**

WWC  
Woodwork



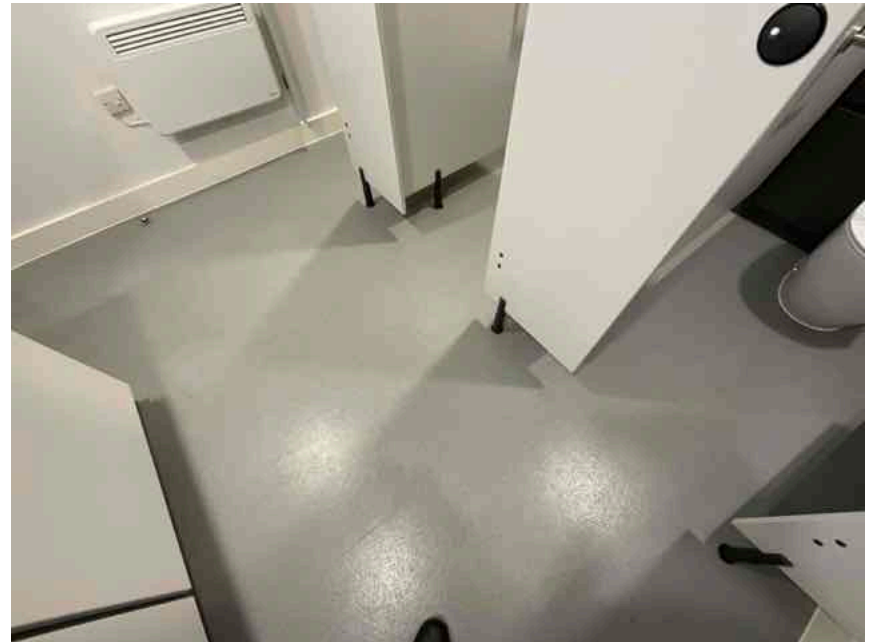
**Photo 174**

WWC  
Woodwork



**Photo 175**

WWC  
Sink



**Photo 176**

WWC  
Floor coverings



**Photo 177**

WWC  
Toilet



**Photo 178**

WWC  
Ceiling



**Photo 179**

WWC  
Walls



**Photo 180**

WWC  
Walls



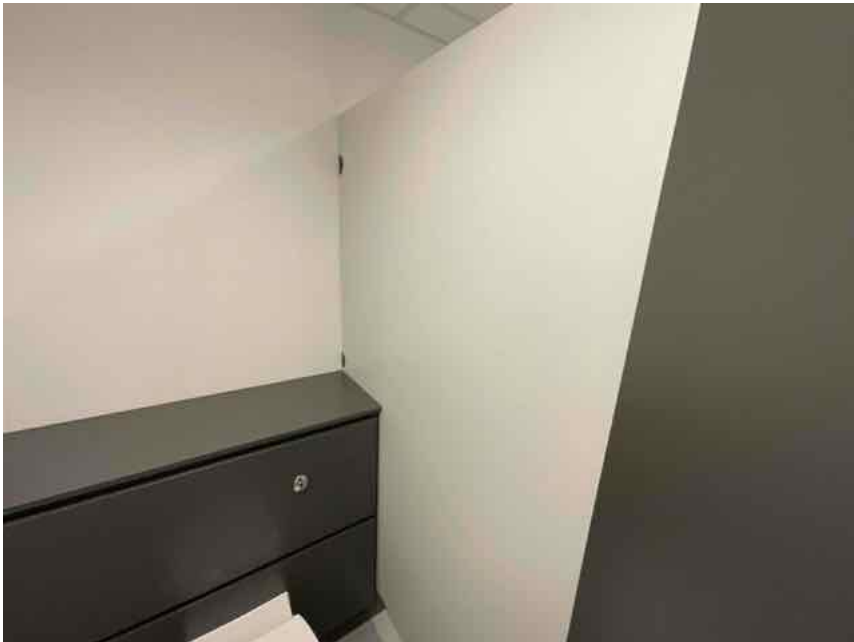
**Photo 181**

WWC  
Walls



**Photo 182**

WWC  
Mirrors to basins



**Photo 183**

WWC  
IPS cubicles



**Photo 184**

WWC  
IPS cubicles



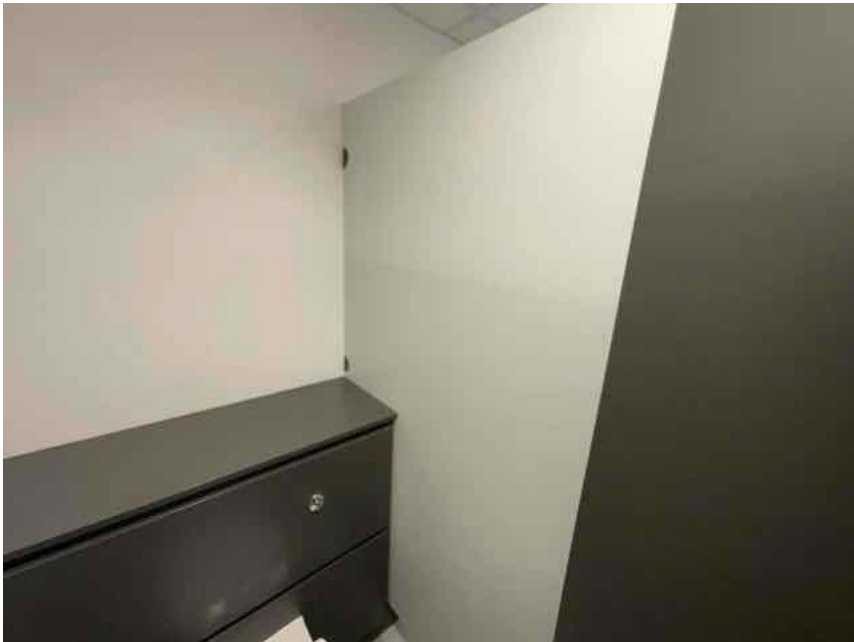
**Photo 185**

WWC  
IPS cubicles



**Photo 186**

WWC  
IPS cubicles



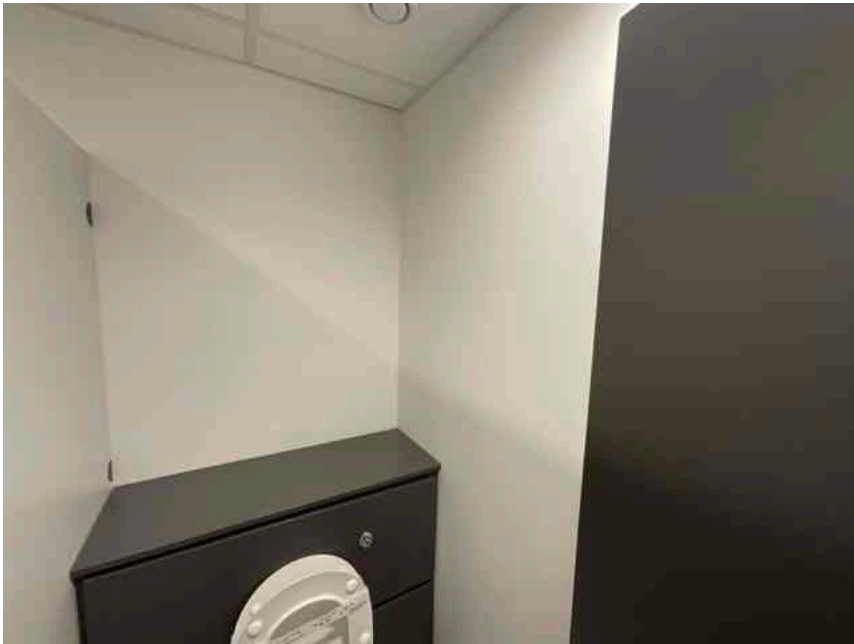
**Photo 187**

WWC  
IPS cubicles



**Photo 188**

WWC  
IPS cubicles



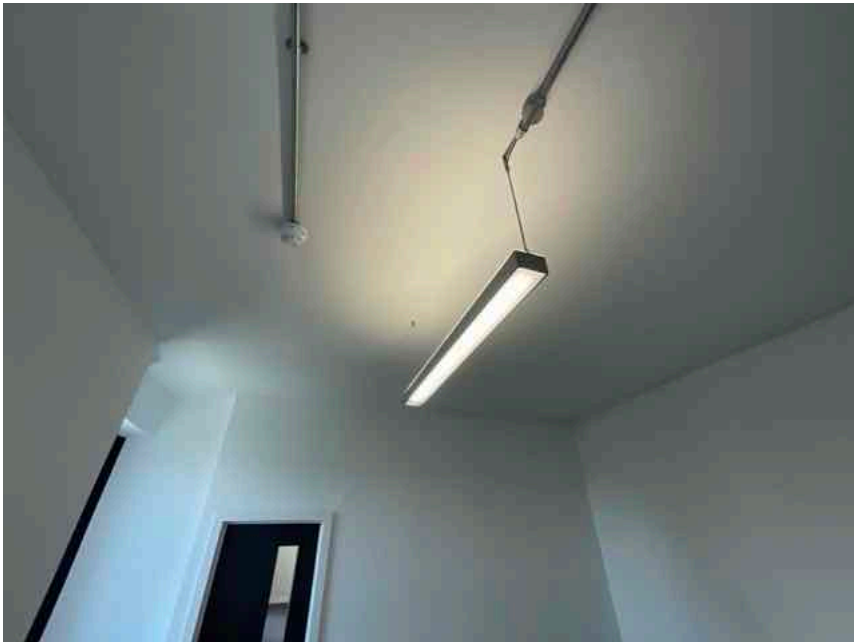
**Photo 189**

WWC  
IPS cubicles



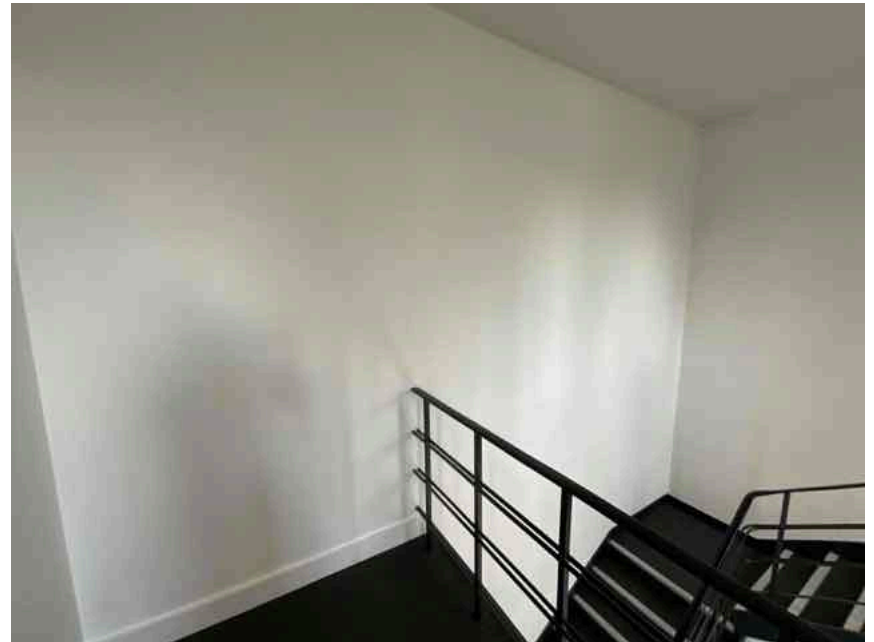
**Photo 190**

Stairwell and entrance  
Ceiling



**Photo 191**

Stairwell and entrance  
Ceiling



**Photo 192**

Stairwell and entrance  
Walls



**Photo 193**

Stairwell and entrance  
Walls



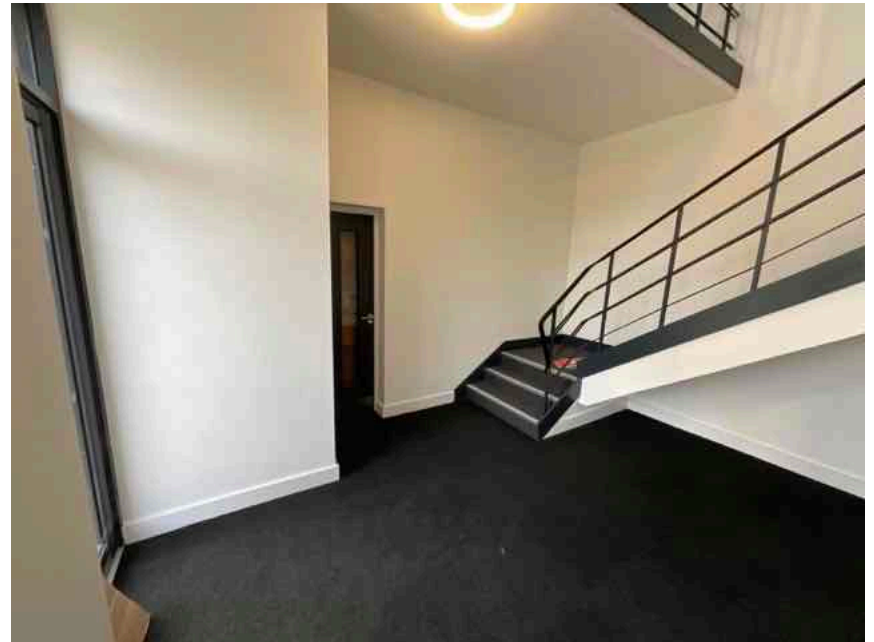
**Photo 194**

Stairwell and entrance  
Walls



**Photo 195**

Stairwell and entrance  
Walls



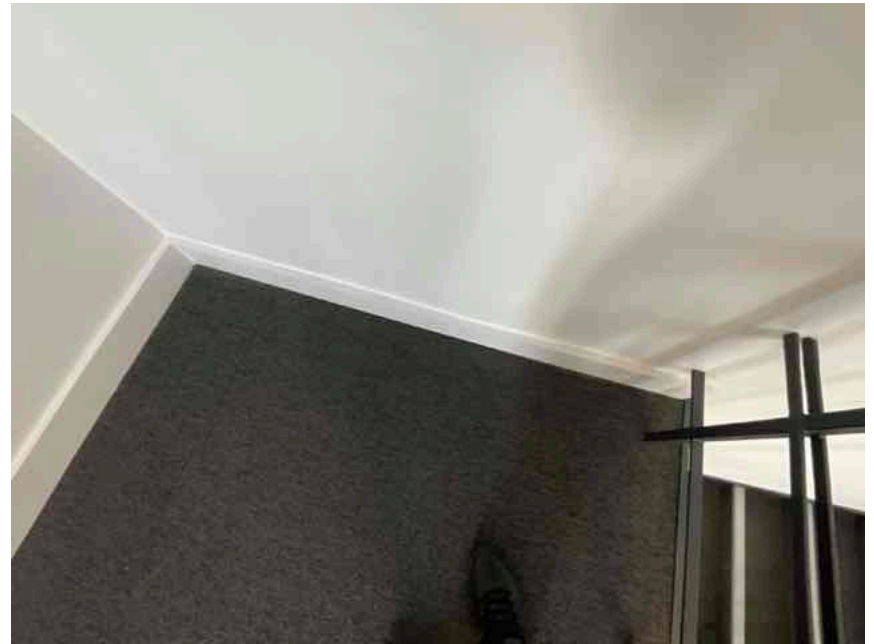
**Photo 196**

Stairwell and entrance  
Walls



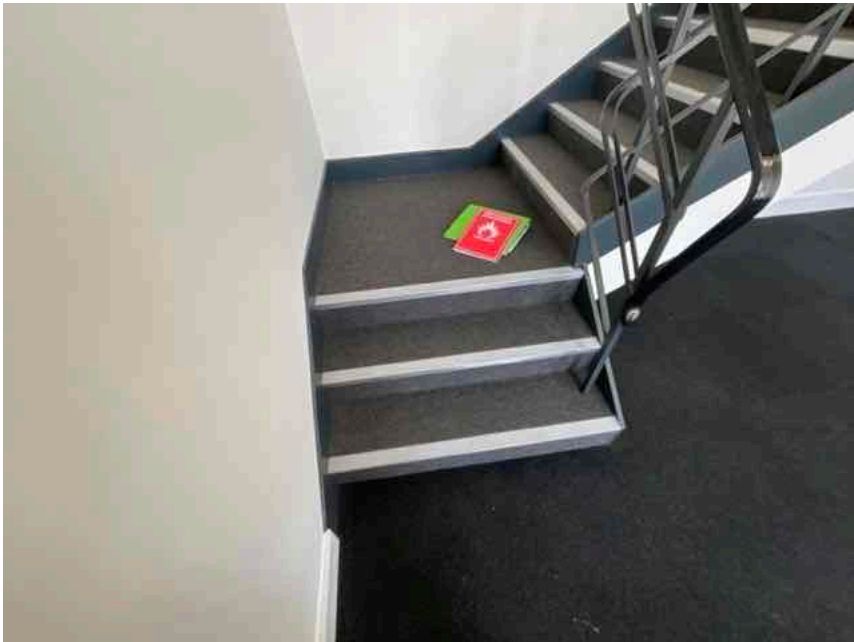
**Photo 197**

Stairwell and entrance  
Walls



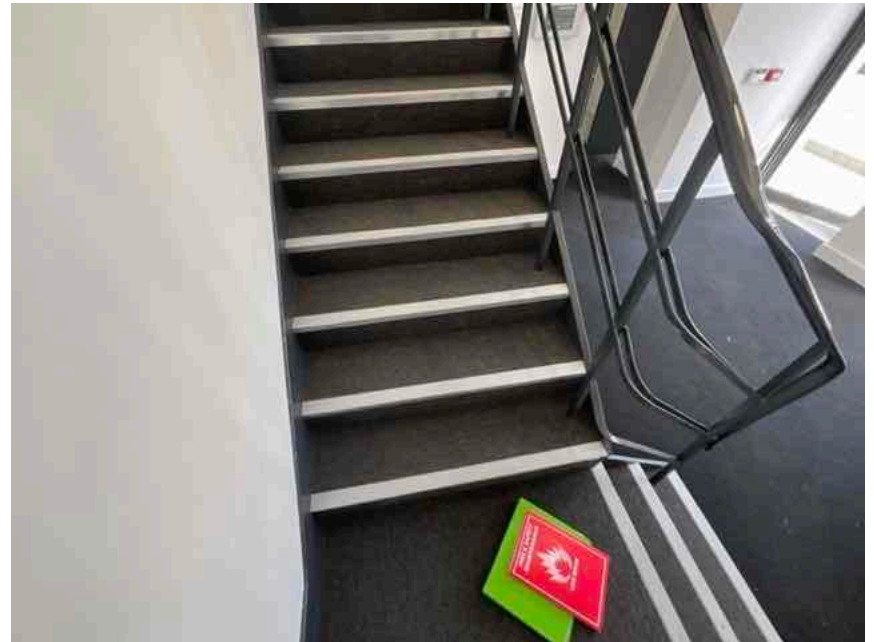
**Photo 198**

Stairwell and entrance  
Woodwork



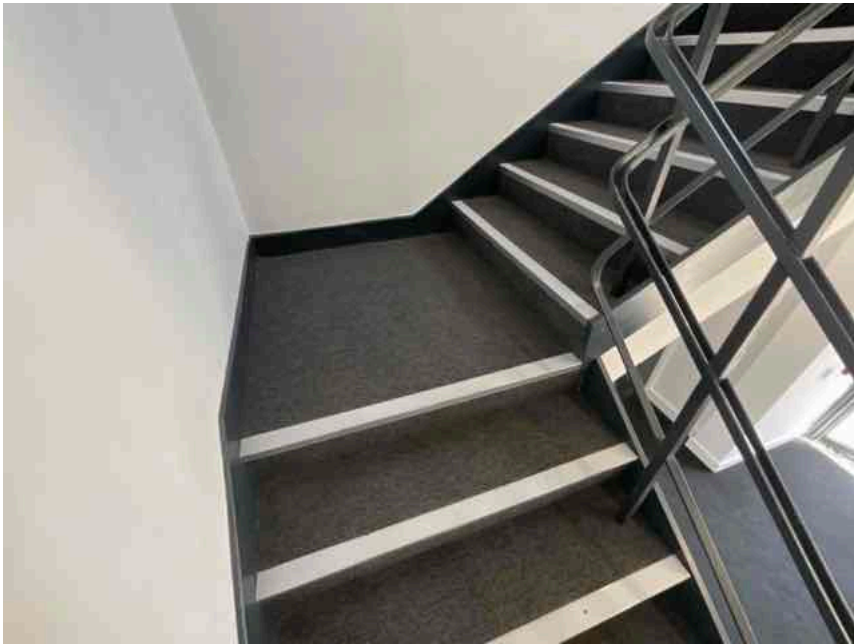
**Photo 199**

Stairwell and entrance  
Stair



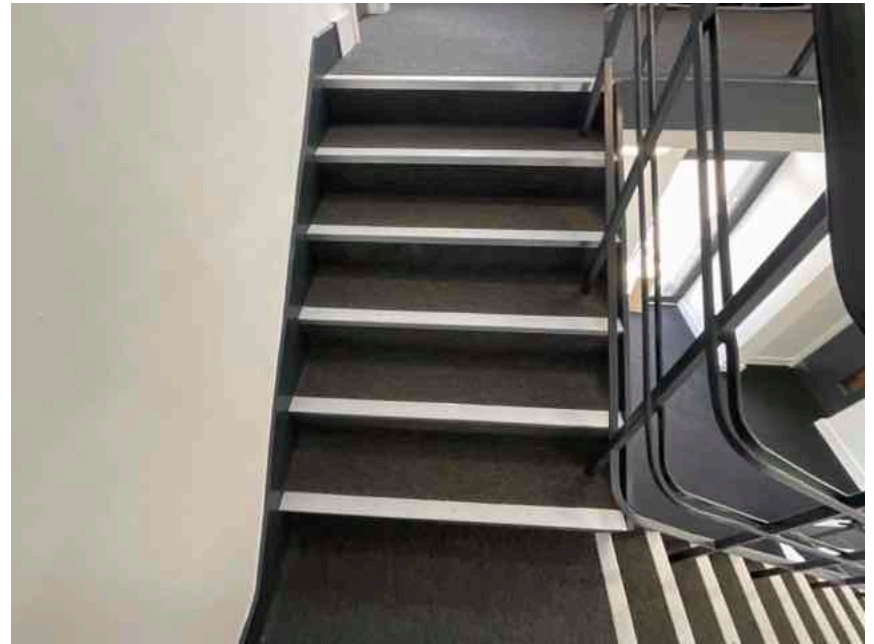
**Photo 200**

Stairwell and entrance  
Stair



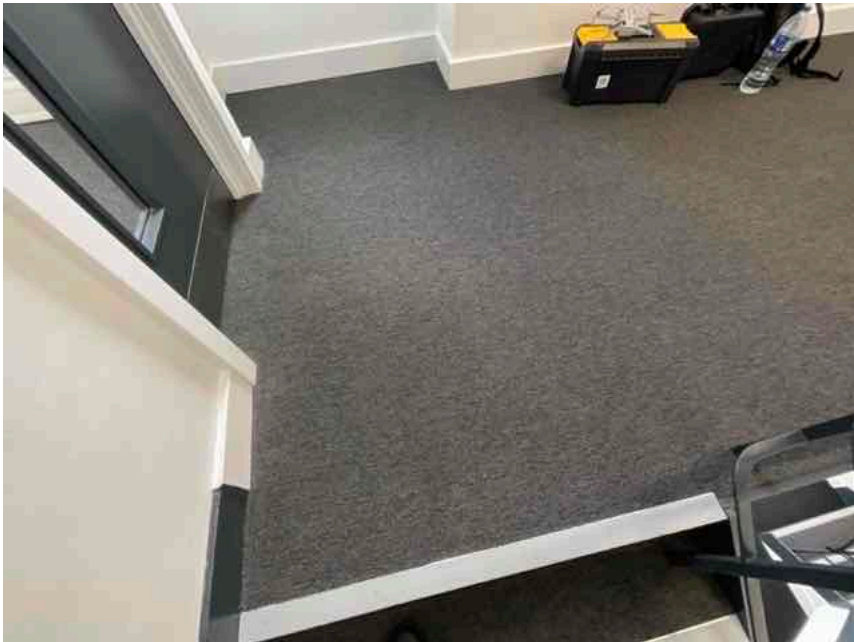
**Photo 201**

Stairwell and entrance  
Stair



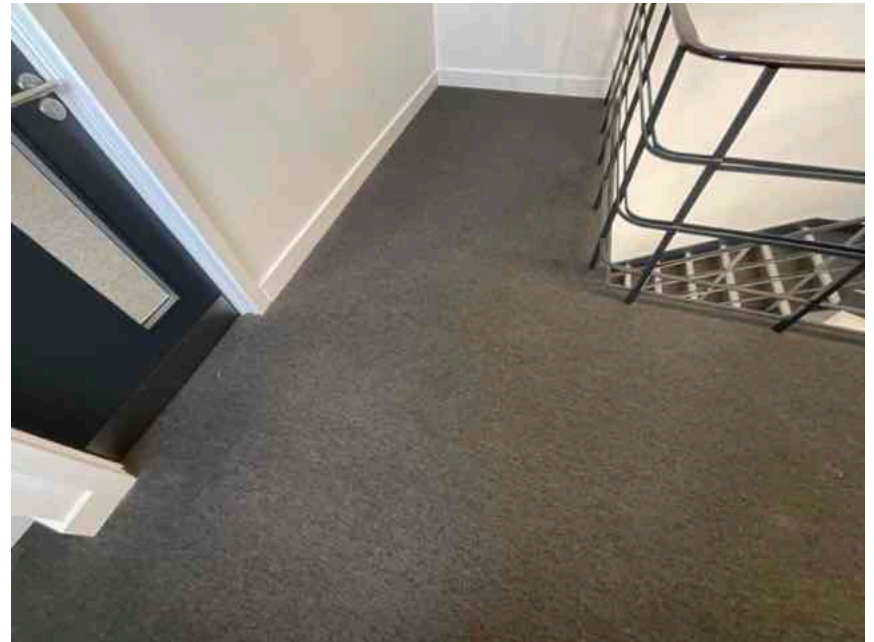
**Photo 202**

Stairwell and entrance  
Stair



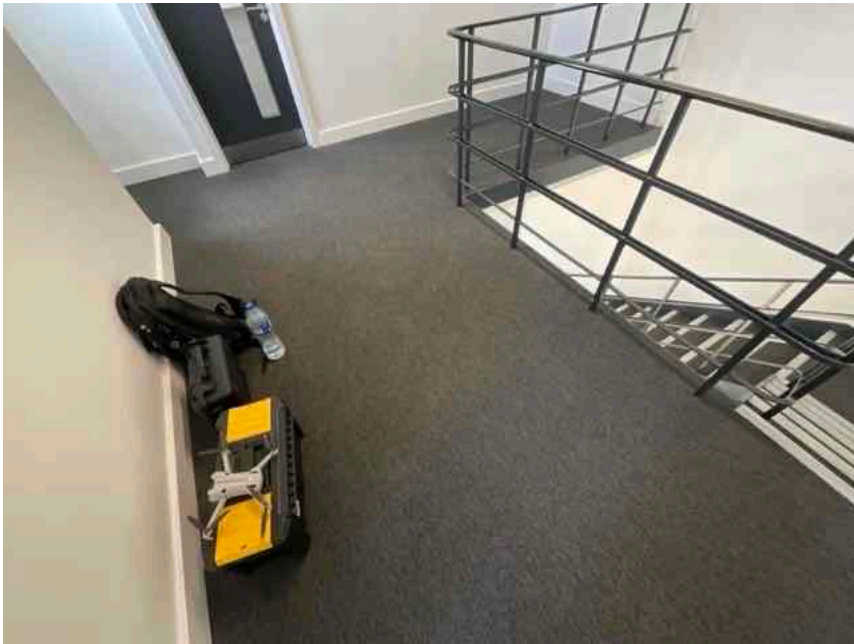
**Photo 203**

Stairwell and entrance  
Stair



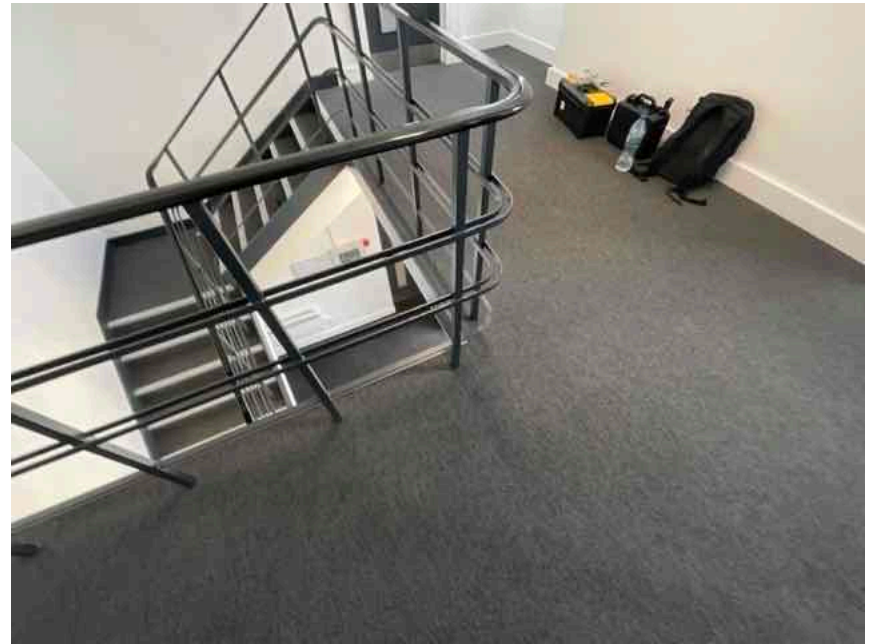
**Photo 204**

Stairwell and entrance  
Stair



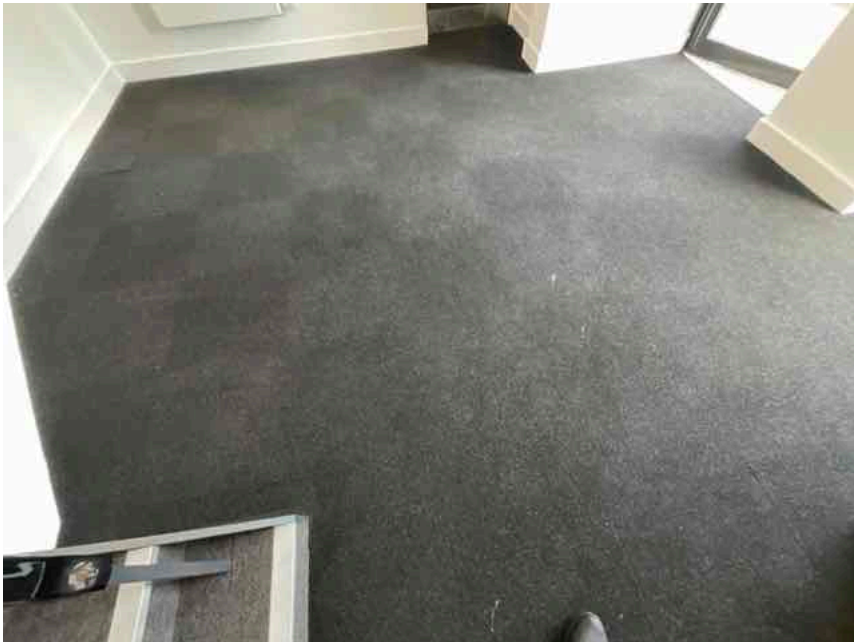
**Photo 205**

Stairwell and entrance  
Floor structure



**Photo 206**

Stairwell and entrance  
Floor coverings



**Photo 207**

Stairwell and entrance  
Floor coverings



**Photo 208**


Stairwell and entrance  
Windows





**Photo 209**


Stairwell and entrance  
Windows

## **D      Schedule of Condition Exterior and Grounds**

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
This Schedule of Condition is specific to the lease to which it is appended.			
<b>Roof 1</b>			
Roof covering and Rooflights	<p>Profiled metal sheet roof covering with metal ridge flashings fixed with rivets.</p> <p>The roof sheets have a single lap at half length.</p> <p>Tek screw fixings into purlins.</p>	<p>Cut edge corrosion does not appear to have set in.</p> <p>Dark spots were observed to the surface of the roof sheets in localised areas, most likely either rust spots or bird droppings.</p> <p>Tek screws appear to have deteriorated and screw gaskets are generally cracked.</p> <p>Rooflights appear aged and yellowed, and the gel coat has most likely broken down.</p>	1 - 70
Parapet walls	Metal edge balustrade.	Corrosion noted at base of stanchion.	71 - 73
Rainwater goods	Gutters are concealed from view by narrow opening.	Not inspected.	74 - 81
<b>Roof 2</b>			
Rainwater goods	<p>Gutters are concealed from view by narrow opening.</p> <p>Drainage via hopper at gutter and then into the gutters to Roof 1.</p>	Appears satisfactory.	122 - 128

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
Roof covering.	<p>Profiled metal sheet roof covering with metal ridge flashings fixed with rivets.</p> <p>The roof sheets have a single lap at half length.</p> <p>Tek screw fixings into purlins.</p>	<p>Cut edge does not appear to have set in.</p> <p>Dark spots were observed to the surface of the roof sheets in localised areas, most likely either rust spots or bird droppings.</p> <p>Tek screws appear to have deteriorated and screws gaskets are generally cracked.</p>	129 - 153
<b>External wall cladding</b>			
North Elevation Cladding	Profiled metal cladding with factory finished coating, matching edge trims.	Satisfactory decorative condition.	82 - 89
East elevation cladding	Profiled metal cladding with factory finished coating, matching edge trims.	Satisfactory decorative condition.	90 - 96
<b>Aluminium double glazed windows</b>			
Glazing	Double glazed. Frosted glazing to ground floor.	Satisfactory.	97 - 98
Frames	Powder coated aluminium glazing.	Satisfactory.	99 - 100
Reveals	Aluminium trims.	Satisfactory	101

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>
<b>Location</b>	<b>Description</b>	<b>Condition</b>	<b>Photo No</b>
<b>External roller doors</b>			
Door leaf	Metal segmental roller door.	Generally, in good condition although soiling may conceal surface defects.  Roller door electrically operated mechanisms were found to be working.	102 - 106
<b>Office entrance doors</b>			
Glazing	Double glazed	Satisfactory.	154
Frames	Aluminium powder coated doors.	Good	155
<b>External doors to shop floor</b>			
Door leaf	Factory finished metal door.	Satisfactory.	156
<b>Grounds</b>			
Surfaces	Concrete hard standings set out in bays with asphalt concrete section adjacent to East elevation.	Generally aged and soiled with grass and plant growth between bays.	107 - 115
North boundary	Formed of timber fence panels set in precast reinforced concrete posts.	Generally aged, and with gaps opening showing some deterioration.	116 - 117
Gates	Metal vehicular sliding gates.	Satisfactory. Unable to test.	118
Edging	Soft landscaped edging with soil and plant growth.	Generally untidy, consider planting or paving over.	119

<b>Address</b>		<b>Weather Conditions</b>	<b>Sunny and dry</b>	
<b>Undertaken by:</b>	<b>Clayton Ayling of Ayling Associates Chartered Surveyors</b>	<b>Undertaken On:</b>	<b>12<sup>th</sup> May 2025</b>	
<b>Location</b>	<b>Description</b>	<b>Condition</b>		<b>Photo No</b>
East boundary	Short wall with metal fence affixed.	Satisfactory condition.		120 - 121



**Photo 1**

Roof 1  
Roof covering and Rooflights



**Photo 2**

Roof 1  
Roof covering and Rooflights



**Photo 3**

Roof 1  
Roof covering and Rooflights

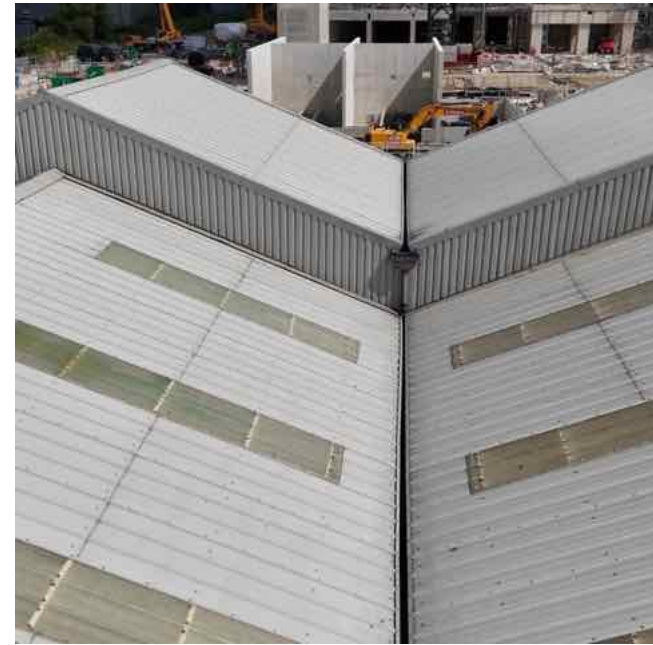


**Photo 4**

Roof 1  
Roof covering and Rooflights



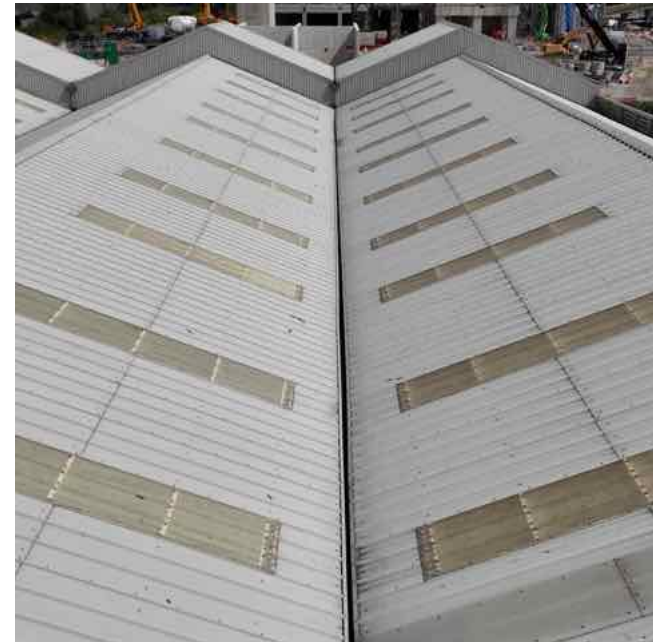
**Photo 5**  
Roof 1  
Roof covering and Rooflights



**Photo 6**  
Roof 1  
Roof covering and Rooflights



**Photo 7**  
Roof 1  
Roof covering and Rooflights



**Photo 8**  
Roof 1  
Roof covering and Rooflights



**Photo 9**

Roof 1  
Roof covering and Rooflights



**Photo 10**

Roof 1  
Roof covering and Rooflights



**Photo 11**

Roof 1  
Roof covering and Rooflights



**Photo 12**

Roof 1  
Roof covering and Rooflights



**Photo 13**

Roof 1  
Roof covering and Rooflights



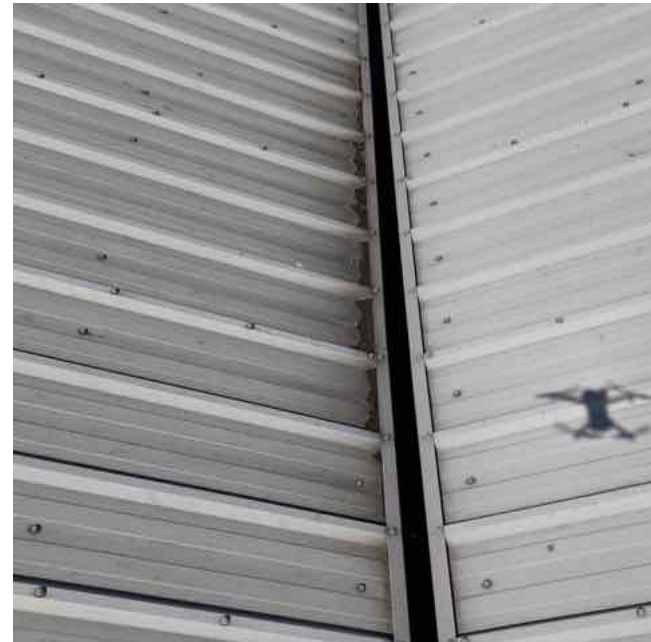
**Photo 14**

Roof 1  
Roof covering and Rooflights



**Photo 15**

Roof 1  
Roof covering and Rooflights



**Photo 16**

Roof 1  
Roof covering and Rooflights



**Photo 17**

Roof 1  
Roof covering and Rooflights



**Photo 18**

Roof 1  
Roof covering and Rooflights



**Photo 19**

Roof 1  
Roof covering and Rooflights



**Photo 20**

Roof 1  
Roof covering and Rooflights



**Photo 21**

Roof 1  
Roof covering and Rooflights



**Photo 22**

Roof 1  
Roof covering and Rooflights



**Photo 23**

Roof 1  
Roof covering and Rooflights



**Photo 24**

Roof 1  
Roof covering and Rooflights



**Photo 25**

Roof 1  
Roof covering and Rooflights



**Photo 26**

Roof 1  
Roof covering and Rooflights



**Photo 27**

Roof 1  
Roof covering and Rooflights



**Photo 28**

Roof 1  
Roof covering and Rooflights



**Photo 29**

Roof 1  
Roof covering and Rooflights



**Photo 30**

Roof 1  
Roof covering and Rooflights



**Photo 31**

Roof 1  
Roof covering and Rooflights



**Photo 32**

Roof 1  
Roof covering and Rooflights



**Photo 33**

Roof 1  
Roof covering and Rooflights



**Photo 34**

Roof 1  
Roof covering and Rooflights



**Photo 35**

Roof 1  
Roof covering and Rooflights



**Photo 36**

Roof 1  
Roof covering and Rooflights



**Photo 37**

Roof 1  
Roof covering and Rooflights



**Photo 38**

Roof 1  
Roof covering and Rooflights



**Photo 39**

Roof 1  
Roof covering and Rooflights



**Photo 40**

Roof 1  
Roof covering and Rooflights



**Photo 41**

Roof 1  
Roof covering and Rooflights



**Photo 42**

Roof 1  
Roof covering and Rooflights



**Photo 43**

Roof 1  
Roof covering and Rooflights



**Photo 44**

Roof 1  
Roof covering and Rooflights



**Photo 45**

Roof 1  
Roof covering and Rooflights



**Photo 46**

Roof 1  
Roof covering and Rooflights



**Photo 47**

Roof 1  
Roof covering and Rooflights



**Photo 48**

Roof 1  
Roof covering and Rooflights



**Photo 49**

Roof 1  
Roof covering and Rooflights



**Photo 50**

Roof 1  
Roof covering and Rooflights



**Photo 51**

Roof 1  
Roof covering and Rooflights



**Photo 52**

Roof 1  
Roof covering and Rooflights



**Photo 53**

Roof 1  
Roof covering and Rooflights



**Photo 54**

Roof 1  
Roof covering and Rooflights



**Photo 55**

Roof 1  
Roof covering and Rooflights



**Photo 56**

Roof 1  
Roof covering and Rooflights



**Photo 57**

Roof 1  
Roof covering and Rooflights



**Photo 58**

Roof 1  
Roof covering and Rooflights



**Photo 59**

Roof 1  
Roof covering and Rooflights



**Photo 60**

Roof 1  
Roof covering and Rooflights



**Photo 61**

Roof 1  
Roof covering and Rooflights



**Photo 62**

Roof 1  
Roof covering and Rooflights



**Photo 63**

Roof 1  
Roof covering and Rooflights



**Photo 64**

Roof 1  
Roof covering and Rooflights



**Photo 65**

Roof 1  
Roof covering and Rooflights



**Photo 66**

Roof 1  
Roof covering and Rooflights



**Photo 67**

Roof 1  
Roof covering and Rooflights



**Photo 68**

Roof 1  
Roof covering and Rooflights



**Photo 69**

Roof 1  
Roof covering and Rooflights



**Photo 70**

Roof 1  
Roof covering and Rooflights



**Photo 71**

Roof 1  
Parapet walls



**Photo 72**

Roof 1  
Parapet walls



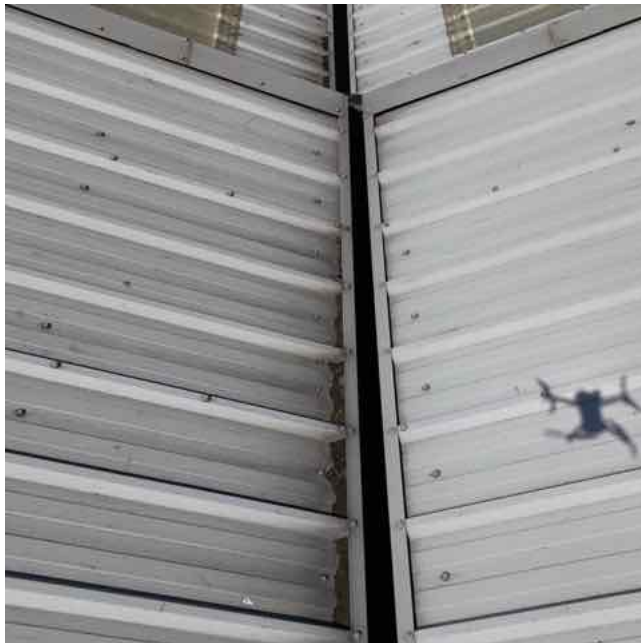
**Photo 73**

Roof 1  
Parapet walls



**Photo 74**

Roof 1  
Rainwater goods



**Photo 75**

Roof 1  
Rainwater goods



**Photo 76**

Roof 1  
Rainwater goods



**Photo 77**

Roof 1  
Rainwater goods



**Photo 78**

Roof 1  
Rainwater goods



**Photo 79**

Roof 1  
Rainwater goods



**Photo 80**

Roof 1  
Rainwater goods



**Photo 81**

Roof 1  
Rainwater goods



**Photo 82**

External wall cladding  
North Elevation Cladding



**Photo 83**

External wall cladding  
North Elevation Cladding



**Photo 84**

External wall cladding  
North Elevation Cladding



**Photo 85**

External wall cladding  
North Elevation Cladding



**Photo 86**

External wall cladding  
North Elevation Cladding



**Photo 87**

External wall cladding  
North Elevation Cladding



**Photo 88**

External wall cladding  
North Elevation Cladding



**Photo 89**

External wall cladding  
North Elevation Cladding



**Photo 90**

External wall cladding  
East elevation cladding



**Photo 91**

External wall cladding  
East elevation cladding



**Photo 92**

External wall cladding  
East elevation cladding



**Photo 93**

External wall cladding  
East elevation cladding



**Photo 94**

External wall cladding  
East elevation cladding



**Photo 95**

External wall cladding  
East elevation cladding



**Photo 96**

External wall cladding  
East elevation cladding



**Photo 97**

Aluminium double glazed window  
Glazing



**Photo 98**

Aluminium double glazed window  
Glazing



**Photo 99**

Aluminium double glazed window  
Frames



**Photo 100**

Aluminium double glazed window  
Frames



**Photo 101**

Aluminium double glazed window  
Reveals



**Photo 102**

External roller doors  
Door leaf



**Photo 103**

External roller doors  
Door leaf



**Photo 104**

External roller doors  
Door leaf



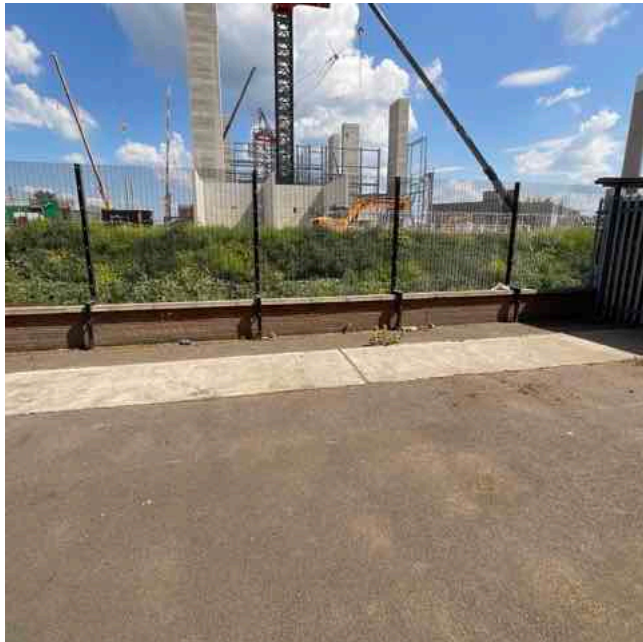
**Photo 105**

External roller doors  
Door leaf



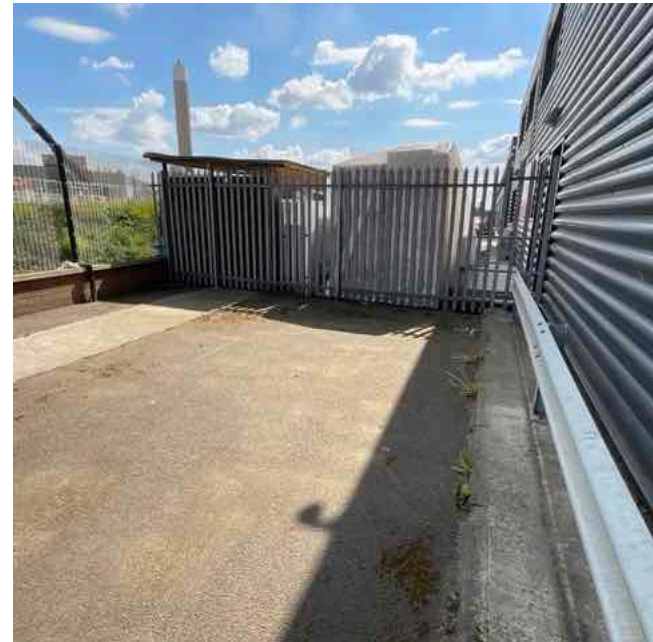
**Photo 106**

External roller doors  
Door leaf



**Photo 107**

Grounds  
Surfaces



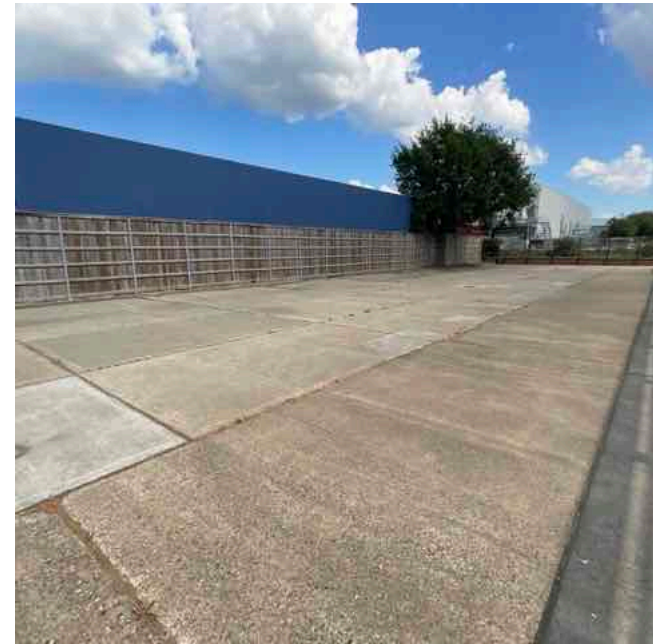
**Photo 108**

Grounds  
Surfaces



**Photo 109**

Grounds  
Surfaces



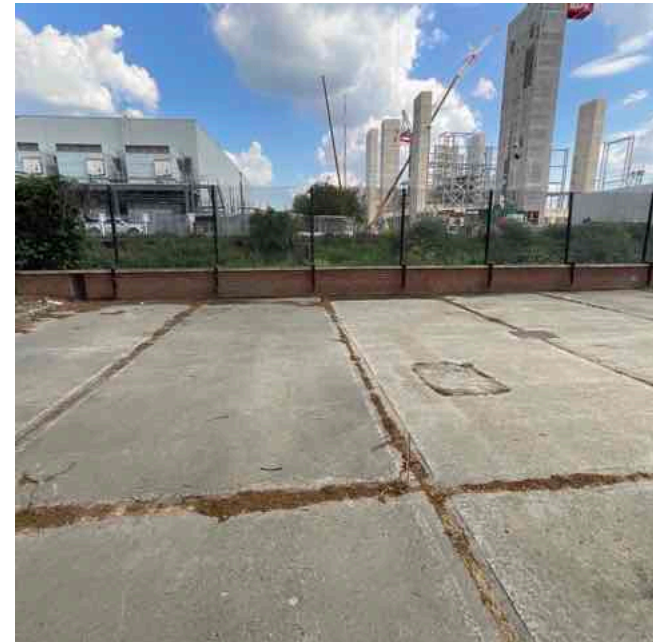
**Photo 110**

Grounds  
Surfaces



**Photo 111**

Grounds  
Surfaces



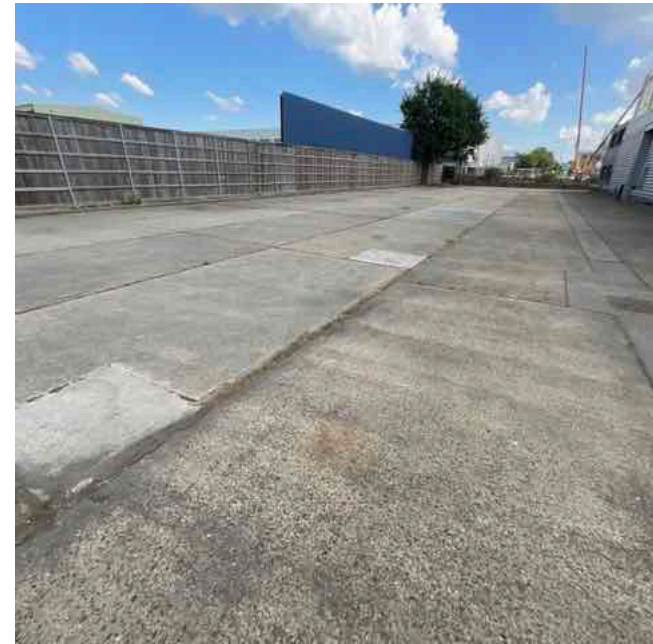
**Photo 112**

Grounds  
Surfaces



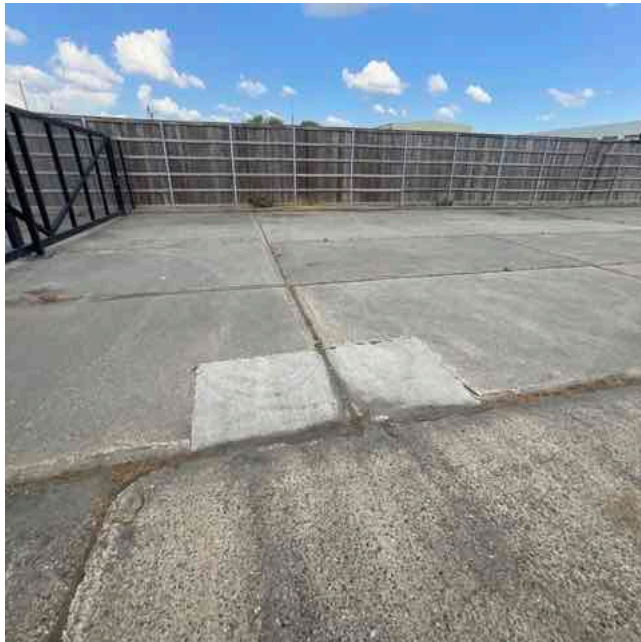
**Photo 113**

Grounds  
Surfaces



**Photo 114**

Grounds  
Surfaces



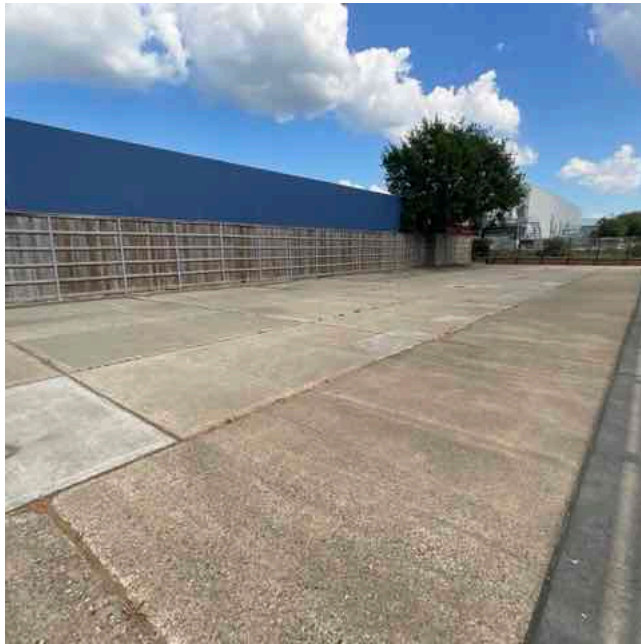
**Photo 115**

Grounds  
Surfaces



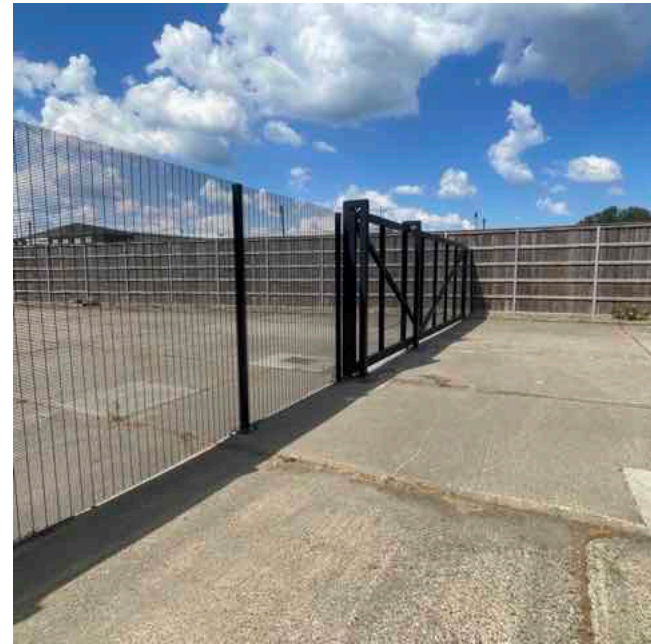
**Photo 116**

Grounds  
North boundary



**Photo 117**

Grounds  
North boundary



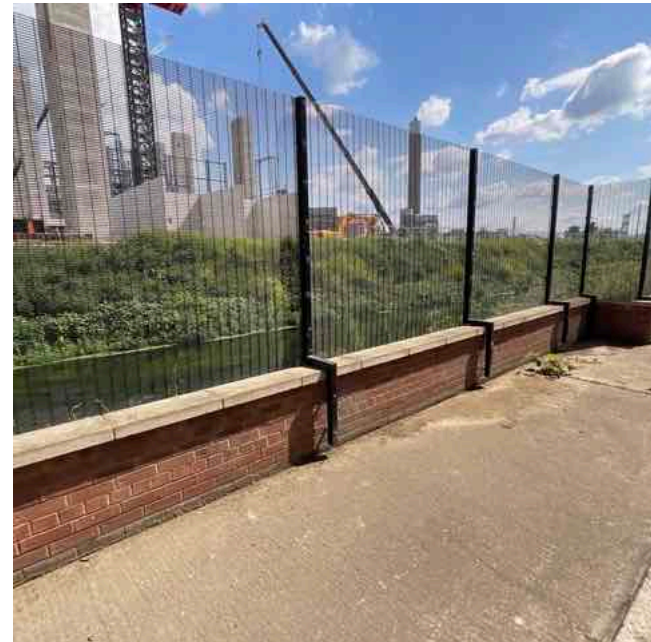
**Photo 118**

Grounds  
Gates



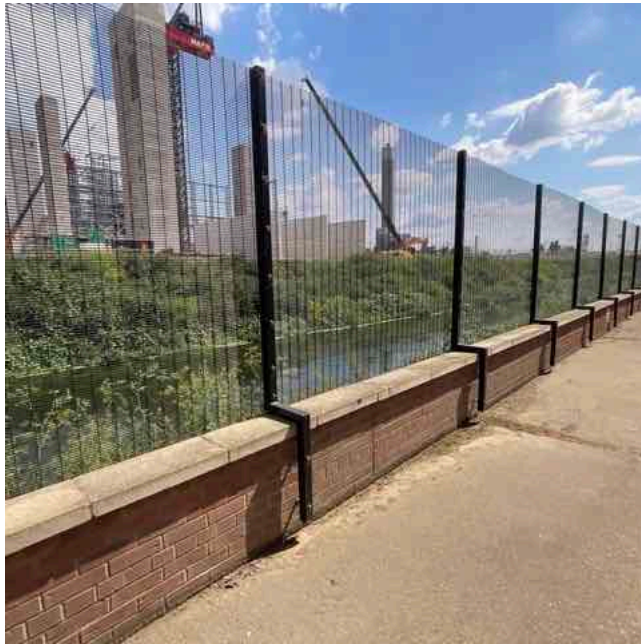
**Photo 119**

Grounds  
Edging



**Photo 120**

Grounds  
East boundary



**Photo 121**

Grounds  
East boundary



**Photo 122**

Roof 2  
Rainwater goods



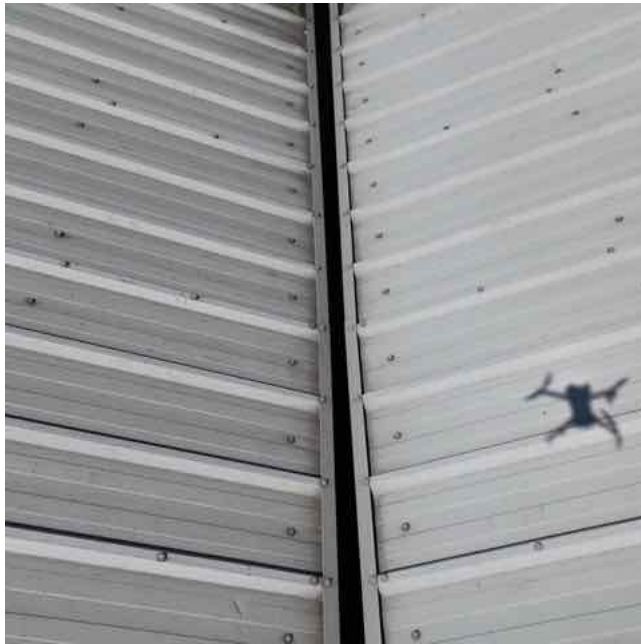
**Photo 123**

Roof 2  
Rainwater goods



**Photo 124**

Roof 2  
Rainwater goods



**Photo 125**

Roof 2  
Rainwater goods



**Photo 126**

Roof 2  
Rainwater goods



**Photo 127**

Roof 2  
Rainwater goods



**Photo 128**

Roof 2  
Rainwater goods



**Photo 129**

Roof 2  
Roof covering.



**Photo 130**

Roof 2  
Roof covering.



**Photo 131**

Roof 2  
Roof covering.



**Photo 132**

Roof 2  
Roof covering.



**Photo 133**

Roof 2  
Roof covering.



**Photo 134**

Roof 2  
Roof covering.



**Photo 135**

Roof 2  
Roof covering.



**Photo 136**

Roof 2  
Roof covering.



**Photo 137**

Roof 2  
Roof covering.



**Photo 138**

Roof 2  
Roof covering.



**Photo 139**

Roof 2  
Roof covering.



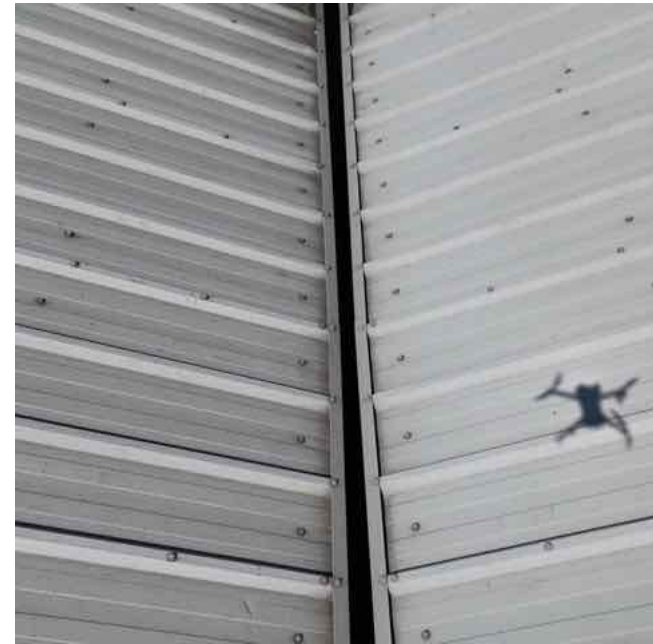
**Photo 140**

Roof 2  
Roof covering.



**Photo 141**

Roof 2  
Roof covering.



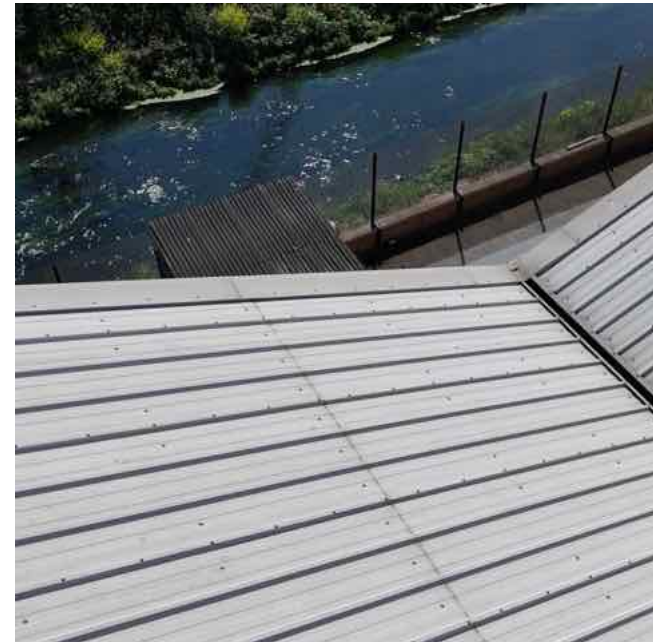
**Photo 142**

Roof 2  
Roof covering.



**Photo 143**

Roof 2  
Roof covering.



**Photo 144**

Roof 2  
Roof covering.



**Photo 145**

Roof 2  
Roof covering.



**Photo 146**

Roof 2  
Roof covering.



**Photo 147**

Roof 2  
Roof covering.



**Photo 148**

Roof 2  
Roof covering.



**Photo 149**

Roof 2  
Roof covering.



**Photo 150**

Roof 2  
Roof covering.



**Photo 151**

Roof 2  
Roof covering.



**Photo 152**

Roof 2  
Roof covering.



**Photo 153**

Roof 2  
Roof covering.



**Photo 154**

Office entrance doors  
Glazing



**Photo 155**

Office entrance doors  
Frames



**Photo 156**

External doors to shop floor  
Door leaf